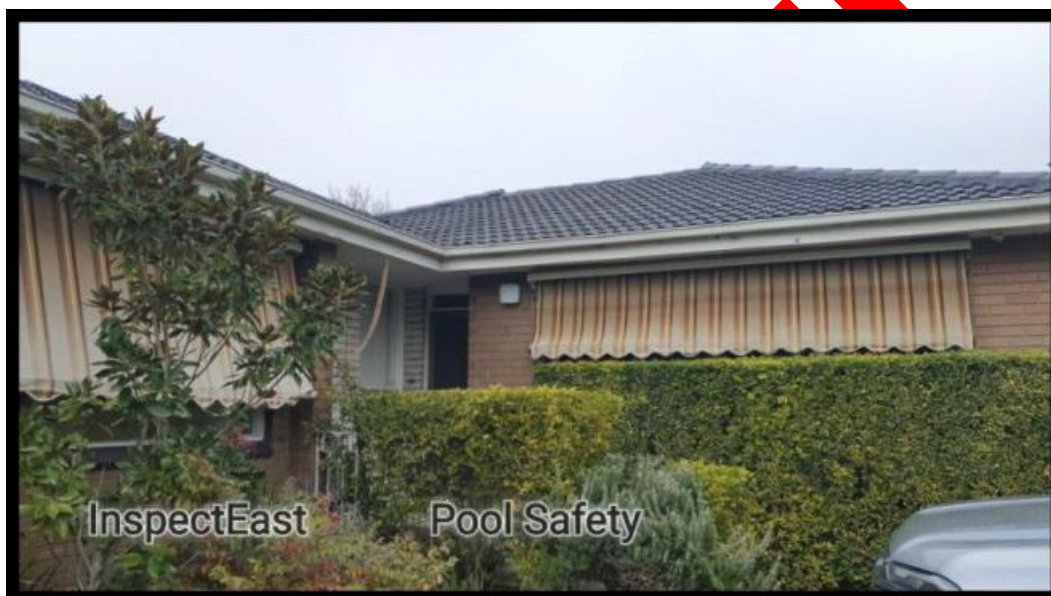


Building & Pest Inspection Report

##/5## ##### Avenue
#####, Vic

August 1, 2024



Prepared for: #####

Report: 6430-b&p

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SIGNIFICANT ITEMS - MAJOR SUMMARY ITEMS:

Items observed that require attention are listed under the appropriate subheadings within the body of this report. For ease of reading, some of these items have also been listed here. This list is in no way to be considered complete or comprehensive.

You must read the entire report and not rely solely on this Summary. The order that the items may appear in this summary is not an indicator of their importance.

MAJOR DEFECTS/ MAJOR STRUCTURAL DEFECTS/ SAFETY DEFECTS

MAJOR STRUCTURAL BUILDING DEFECTS

SUB FLOOR AND FOOTINGS

WOOD DECAY DAMAGE:

Description:

Severe wood decay damage was noted to the sub floor under the bathroom.

Damaged timbers require replacement without delay to assure the structure remains stable, the joist/s and flooring timbers are decayed, further concealed timbers may also be decayed. A licensed carpenter or licensed builder is required to provide a further assessment and to offer suitable rectification as required, and the source of the water leak repaired by a licensed plumber to prevent further deterioration.

FOOTINGS:

General Condition:

There appears to have been settlement in the building footing system. This settlement is usually due to ground movement and subsequent movement to building materials can be expected. Periodic maintenance and or repair will be required. The level of deterioration is considered at a minor level at the time of the inspection.

Recommendation: We strongly recommend that licensed structural engineer be engaged to further investigate and offer further evaluation and repairs and/or rectification works.

Note: Items and conditions present that are considered common signs footing and or foundation issues: External masonry cracking and Gap/s and or evidence of Movement to window/s frames Please refer to each section of this report for further details to the defects present.

EXTERNAL AREAS

EXTERNAL WALLS:

Cracking To Masonry Or Concrete Elements:

Cracks and/or evidence of movement is evident to the eastern and southern elevation/s of the property. Visible cracking has been categorized as a serviceability defect. Cracking of a building element is a serviceability defect where in the opinion of the inspector the function of the building element is impaired however, the expected consequence of this cracking is unknown until further information is obtained. A structural engineer should be called to make a further evaluation and repairs or rectification as needed.

SAFETY DEFECTS

ROOF SYSTEM INTERNAL

OTHER DEFECTS AND/OR SAFETY ISSUES:

Description:

The electrical down light/s do not have fire protection cover/s installed which could present **safety hazard/ fire issue**. Fire protection cover/s should be installed by a licensed electrician as a matter of urgency.

SUB FLOOR AND FOOTINGS

SUB FLOOR - OTHER DEFECTS OR ISSUES:

Details:

Although this is not an asbestos materials audit, it appears Asbestos flue material is present under the floor. It must be noted that asbestos materials present as a **serious health hazard**. Due to these associated health risks, asbestos material should not be disturbed in any form, and should be kept maintained and fully sealed to avoid exposure. We strongly recommend an asbestos audit be conducted without delay to determine if asbestos containing material is indeed present. These tests and any modifications or removal should only be conducted by a suitably qualified licensed Asbestos contractor.

EXTERNAL AREAS

EXTERNAL REAR STAIRS:

Safety & Defect Issues:

The handrails and balustrade/s do not appear to comply with the current BCA Standards for height and spacing. Although this report does not generally comment on items of compliance, this issue is a current a **safety hazard** and therefore was included in this report. Recommend the handrails/balustrades be upgraded to the current Australian safety standards without delay. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.

PATHS/PAVED AREAS:

Type & Condition:

The concrete paths/paved areas have subsided in areas and will require repairs by a suitably qualified professional.

Note: This presents a potential safety hazard and we recommend immediate repairs be undertaken.

MAJOR BUILDING DEFECTS

INTERNAL AREAS

WALLS

Internal Walls Condition:

High moisture reading was noted to walls adjacent to wet areas in the bathroom. This indicates a possible shower leak and/or other free moisture source. This should be further investigated without delay. If the waterproof membrane of the shower has broken down, this will require replacing to prevent timber framing decay to surrounding areas. A licensed builder is required to provide a further assessment and to offer suitable rectification as required.

Note: The moisture meter used is a Tramex Moisture Encounter Plus. The meter was used on scale 1. The highest moisture reading observed was 30%.

WET AREAS

KITCHEN:

Sink & Taps:

The sink & tap area appears to be leaking and requires repair or replacement by a plumber, as this free water may cause decay to surrounding components.

The leak appears to from the tap region.

The tap is loose. This will require securing by a plumber to prevent the free water causing decay to surrounding components.

MAIN BATHROOM:

Shower/Bath Condition:

The shower recess is leaking. This has caused some wet rot decay damage to the surrounding components. (Please refer to heading Subfloor and Footings- then refer to-Wood decay damage) for further information Rectification is required and the extent of works should be determined by a Licensed Builder without delay.

Preferred Contractor details: If you need a company that carries out shower repairs that are fully licensed, see link;- ##### for details, let them know you are our client as they may wish to view the report for assistance.

Note: It appears that timber floor boards has been used as the substrate material to the underside of the tiled cast-in-sit-u shower base area, this is not considered a suitable material for this purpose and not considered good industry practice. This may affect the overall life span of the shower recess and may affect the warranty and performance of the waterproofing membrane if present, when conducting works to shower recesses we recommend using an industry's standard substrate as a tile baker i.e: Scyon and/or compressed sheeting.

Note: The base structure positioned to the underside of the tiled shower base is not providing adequate support to the underside of the shower. Repairs and or additional support is required to ensure the area is suitably supported, without the correct support movement and deterioration of grout, tiles and waterproofing can occur. This can allow water to penetrate surrounding areas and cause further deterioration. A licensed carpenter is required to review and carry out suitable repairs.

Tiles:

The grout is loose and/or missing within the shower alcove and requires replacing by a professional tiler to prevent water penetrations and decay to surrounding components.

A flexible sealant should be installed by a suitably qualified professional to the gaps between the tile base and tiled shower base. This is to prevent water penetration and decay to surrounding components.

Note: The sealant present has mould present to the underside of the sealant. The main cause of mould growth in silicone is water getting behind the silicone, this condition is evidence that the sealant is no longer functioning as intended. Replacement is recommended as itemised in comments.

Some tiles are drummy (loose) and cracked to the shower alcove and bathroom floor. Repairs are required, and any damaged tiles should be replaced by a tiler to prevent water penetration and decay to surrounding components.

SUB FLOOR AND FOOTINGS

SUB FLOOR - OTHER DEFECTS OR ISSUES:

Details:

Leaks were noted in the drainage pipes under the bathroom. This has lead to major decay. Please refer to the appropriate sections of the report for further details.

EXTERNAL AREAS

EXTERNAL REAR STAIRS:

Stair Condition:

Gaps are present between the stair structure and the wall of the dwelling. This is allowing water to penetrate the affected areas and this is causing water related damage to the subfloor area. We

strongly recommend that a suitably qualified professional is engaged to caulk and waterproof the area to prevent further deterioration.

OTHER RECOMMENDED INSPECTIONS/ TIMBER PEST REPORT SUMMARY

CONCLUSION

OTHER INSPECTIONS AND REPORT REQUIREMENTS

Recommended Inspections And Reports:

Additional Building and Timber Pest Inspection to areas restricted and/or not accessible of the day of this inspection. Asbestos fibre containing material audit. Common Areas Inspection. Appliance Inspection. Structural (Engineer). Waterproofing Inspection. Plumbing Inspection. Drainage Inspection and Smoke Test. Electrical Inspection. Council Plan Inspection.

BRIEF SUMMARY - TIMBER PEST

TIMBER PEST ACTIVITY OR DAMAGE

Active Termites Found:

No - At the time of the inspection no visible evidence of termite activity (live termites) was found in the areas able to be inspected. Please read the report.

Damage Caused By Termites Found:

No - At the time of inspection no visible evidence of termite activity or damage was found in the areas able to be inspected. Please read the report.

Damage Caused By Borers Found:

Yes - Evidence (flight holes) of borers of dry seasoned timbers or borer damage was found. Please read the report.

Damage Caused By Wood Decay Found:

Yes - Evidence of damage resulting from wood decay fungi (wood rot) was found. Please read the report.

Warning: If safety concerns and/or hazards are not addressed, serious injury or death may occur.

Australian Standard Definitions:

- The definition of a major defect is a defect that is of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.
- The definition of 'major defect' includes defects that have to be rectified to avoid the development of unsafe conditions, and thus any defect that is a safety hazard has to be reported as a major defect, however, if in the opinion of the inspector, a defect is a serious hazard to the occupants or is about to become a serious hazard to the occupants it is considered that the inspector has a professional duty to ensure that the report clearly identifies the hazard in such a manner that it is not easily overlooked by the reader of the report.

CONTACT THE INSPECTOR:

Please feel free to contact the inspector Brett White on 0405 327 855 who carried out this inspection. Often it is difficult to fully explain situations, problems, access difficulties, building faults or the importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact

the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.



Brett White
Inspect East / Pool Safety Check
040-532-7855



SAMPLE ONLY

PROPERTY REPORT DETAILS

DETAILS OF THE INSPECTION

Commissioned By:

#####

Your Contact:

#####

Your Ref/File Number:

6430.

Your Client:

#####

Date Of Inspection:

9:00 AM 01/08/2024.

Property Address:

5###/5### ##### Avenue ##### Vic.

Inspected By:

Brett White

Persons At Inspection:

Tenant or Representative.

INSPECTED PROPERTY TYPE

Building Type:

A single storey dwelling.

DETAILS OF THE INSPECTION AGREEMENT

Agreement Details:

Agreement Reference: 6430.

Special Conditions:

There are NO Special Requirements / Conditions requested by the Client/Clients Representative regarding this Inspection and Report.

Agreement Changes:

There are NO changes to the Inspection Agreement.

WEATHER

Recent Weather Conditions:

Wet.

Weather Conditions On The Day And At The Time Of Inspection:

Dry.

Orientation

For the purpose of identification west is assumed to be approximately at the main street frontage of the property.

FURNISHED PROPERTIES

Was The Property Furnished At The Time Of Inspection?

Yes - Where a property was furnished (fully or partly) at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence defects (from minor defects to potentially significant defects). This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

SAMPLE ONLY

VISUAL BUILDING INSPECTION REPORT

THIS IS A VISUAL BUILDING INSPECTION REPORT IN ACCORDANCE WITH AS4349.1

Information Regarding The Scope And Limitations Of This Pre-purchase Building Inspection.

SERVICE As requested by the Client, the inspection carried out by the Building Consultant ("the Consultant") was a "Pre-Purchase Standard Property Report" in accordance with AS4349.1.

PURPOSE OF INSPECTION The purpose of this inspection is to provide advice to the Client regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covers or deals with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard discernible at the time of inspection. The inspection is limited to the Readily Accessible Areas of the Building & Site and is based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability. Unless noted in "Special Conditions or Instructions", the Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. The Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

If the Client has any doubt about the purpose, scope and acceptance criteria on which the Report was based please discuss your concerns with the Consultant on receipt of the Report. The Client acknowledges that, unless stated otherwise, the Client as a matter of urgency should implement any recommendation or advice given in this Report.

LIMITATIONS

The Client acknowledges:

1. Visual only inspections are not recommended. A visual only inspection may be of limited use to the Client. In addition to a visual inspection, to thoroughly inspect the readily accessible areas of the property requires the Consultant to carry out whenever necessary appropriate Tests.
2. This Report does not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
3. This Report does not include the inspection and assessment of items or matters that do not fall within the Consultants direct expertise.
4. The inspection only covered the readily accessible areas of the property. The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include - but are not limited to - roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder's debris, vegetation, pavements or earth.
5. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.
6. This Report was produced for the use of the Client. The Consultant is not liable for any reliance placed on this report by any third party.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- any individual Minor Defect;
- solving or providing costs for any rectification or repair work;
- the structural design or adequacy of any element of construction;
- detection of wood destroying insects such as termites and wood borers;
- the operation of fireplaces and chimneys;
- any services including building, engineering (electronic), fire and smoke detection or mechanical;
- lighting or energy efficiency;
- any swimming pools and associated pool equipment or spa baths and spa equipment or the like;
- any appliances such as dishwashers, In-Sink-Erators, ovens, stoves and ducted vacuum systems;
- a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- a review of environmental or health or biological risks such as toxic mould;
- whether the building complies with the provisions of any Building Act, code, regulation(s) or by-laws;
- whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone;
- In the case of strata and company title properties, the inspection of common property areas or strata/company records.

INSPECTED PROPERTY DESCRIPTION

External Walls Constructed From:

The external walls are of brick veneer construction.

Roof Construction:

The roof is of pitched construction.

Roof Covering:

The roof covering is concrete tiles.

Footings:

The building is constructed on the following footing type/s: Concrete strip.

Windows Material:

The windows are of timber and Aluminium type construction.

Estimate Building Age:

Between 50 to 70 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.



Accommodation:

The property consists of three bedrooms and one bathroom/s.

Strata:

The building may be part of an Owners Corporation (Strata Title). The purchaser should ensure that an Owners Corporation inspection is carried out. NOTE: Only common property areas in the immediate vicinity of the subject property have been inspected.



SAMPLE ONLY

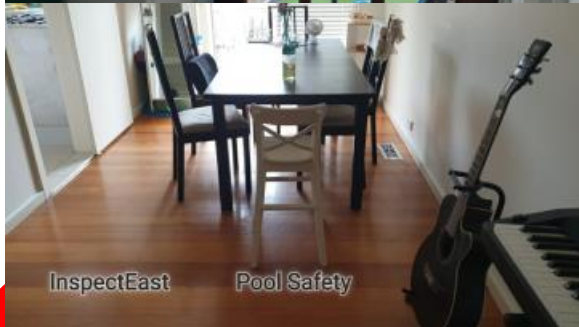
INTERNAL AREAS

INSPECTION LIMITATIONS

Restrictions:

Visual limitations to floors, some walls and the robes were present due to but not limited to existing furnishings and or stored items restricting a complete evaluation of these areas and or components. Defects or timber pest may be present and not identified. Strongly recommend limitations be removed and a re-inspection be conducted to enable a more complete report to be submitted.

The external laundry door/s was locked at the time of inspection. A full evaluation of the door/s was not able to be conducted. Further investigation is recommended, as defects may be present and not detected.





Defects and or damage requiring rectification may not be apparent to the inspector due to restriction. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s).

CEILING

Ceiling Condition:

Moderate crack/s were noted to the ceiling lining within the bed 1 and hallway. Maintenance is required by a suitably qualified plasterer to prevent further deterioration.

Cosmetic defective surfaces were noted to bed 1 and bathroom of the property. Maintenance will be required by a suitably qualified trades' person.





WALLS

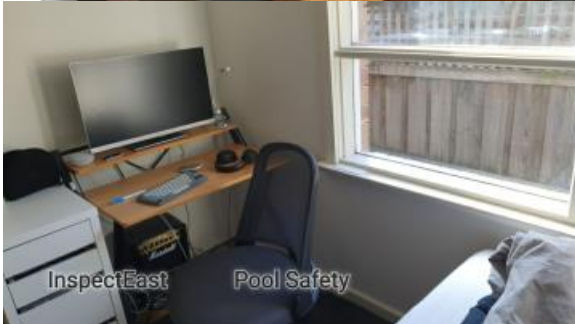
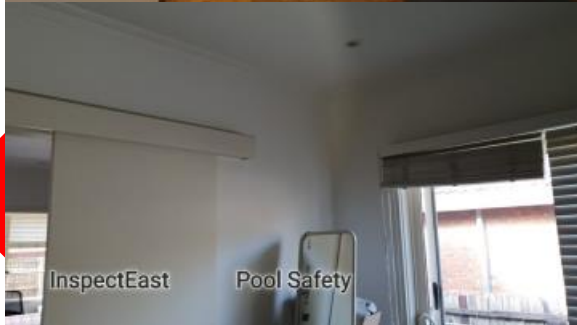
Internal Walls Condition:

Moderate cracks were noted to the wall lining within the bed 1, bed 2, bed 3, and dining, cracking can be expected in the type of lining. Maintenance is required by a suitably qualified plasterer to repair the cracking present.

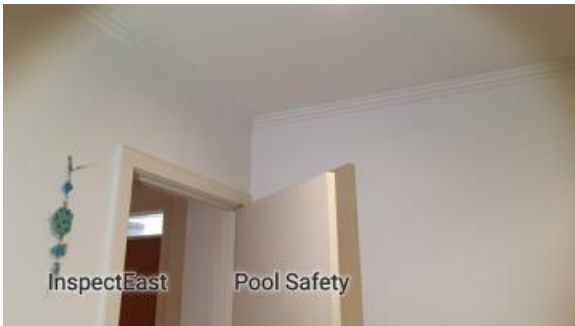
High moisture reading was noted to walls adjacent to wet areas in the bathroom. This indicates a possible shower leak and/or other free moisture source. This should be further investigated without delay. If the waterproof membrane of the shower has broken down, this will require replacing to prevent timber framing decay to surrounding areas. A licensed builder is required to provide a further assessment and to offer suitable rectification as required.

Note: The moisture meter used is a Tramex Moisture Encounter Plus. The meter was used on scale 1. The highest moisture reading observed was 30%.

Cosmetic defective or poor surfaces were noted to wall materials within various area/s of the property and will need repair by painting by a suitably qualified plasterer and/or painter.



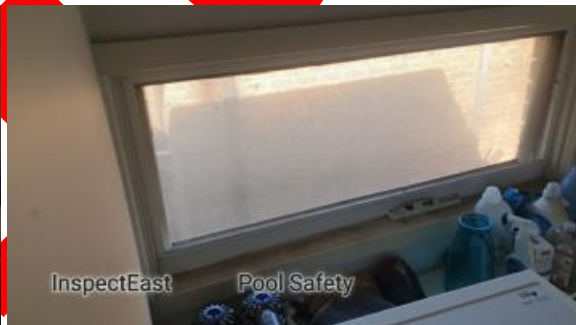
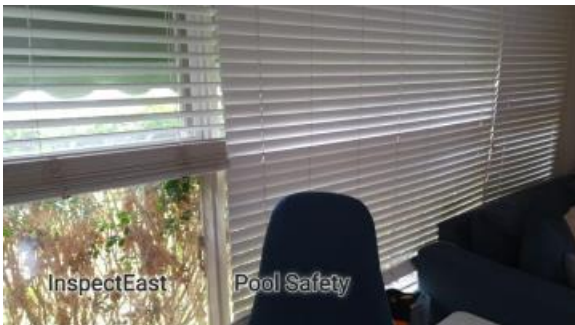
SALE

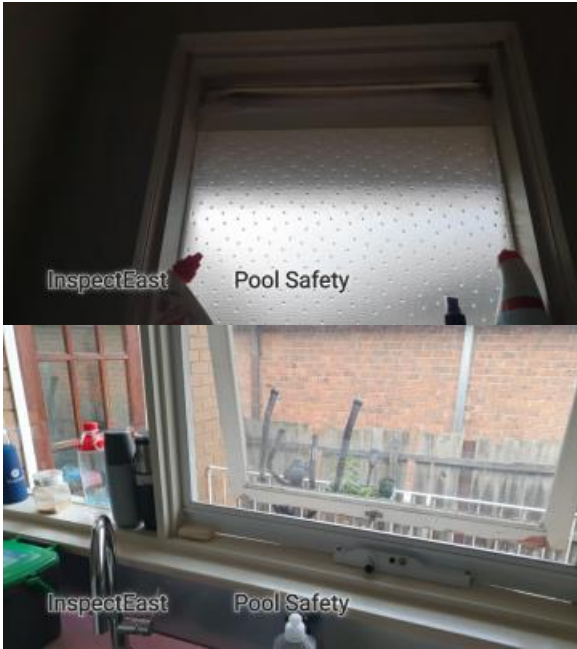


WINDOWS

Windows Condition:

The condition of the windows and hardware is generally fair.





Important Note:

- This section of the report covers the interior side of the windows.
- Any windows that are locked and or jammed shut may be concealing defects and/or timber pest issues which may only be revealed when the window can be viewed in the open position.

DOORS

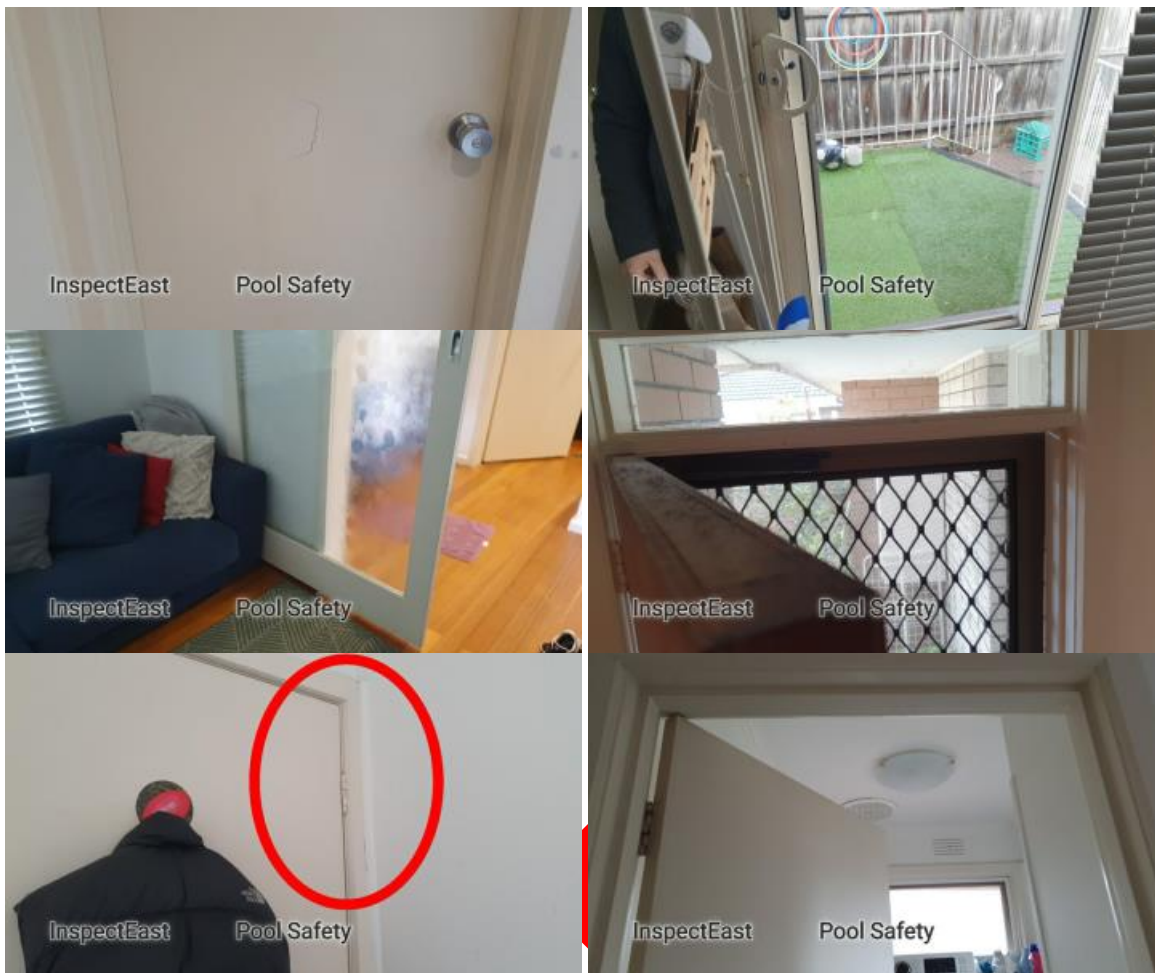
Doors Condition:

The door to the toilet area has impact and damage deterioration present. Repairs and or replacement is recommended, a licensed carpenter should be engaged to review and carry out suitable works.

Weather strips should be installed to the external door/s to the front entrance to prevent water entry which could lead to wet rot decay. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.

We recommend that all edges of the exterior door/s be sealed and or painted as per the manufacturers recommendations to prevent potential deterioration. A licensed painter should be engaged to review and rectify.

The door hinges appear old and/or damaged and require repair or replacement to the following door/s bed 3. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.



Important Note:

- This section of the report covers the interior side of the external doors including the sliding glass doors if present and the interior doors.
- Any doors that are locked and/or jammed shut may be concealing defects and/or timber pest issues which may only be revealed when the door can be inspected through its full range of movement.

FLOORS

Floors General Condition:

Excessive gaps were noted between floor boards and skirting boards within the bed 1. This may be a result of shrinkage in the timbers since the initial installation. To rectify this, a carpenter would be required to lift and repack the affected area.

Some cracked tiles were noted to the dining. Replacement of cracked is recommended. A professional tiler should be called to conduct suitable repairs.



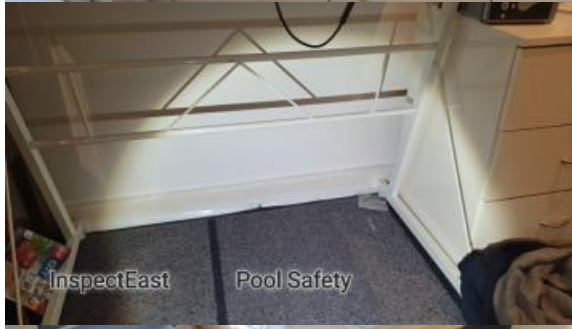
InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety



InspectEast Pool Safety

WOODWORK

Woodwork

Skirting boards(s) are missing within the kitchen and will require replacement. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.



Important Note:

- Signs of timber pest damage are often discovered by sounding (tapping) and probing. The sounding and probing is only possible where areas are not obstructed and enough room for the consultant to conduct the activity.

SAMPLE ONLY

BUILT- IN WARDROBES/ LINEN CUPBOARD

Type And Condition

Visual limitations due to but not limited to existing stored goods restricted a complete evaluation of these areas and or components. Defects may be present and not identified. Recommend limitations be removed and a re-Inspection be conducted to enable a more complete report to be submitted prior to making a commitment on this property.

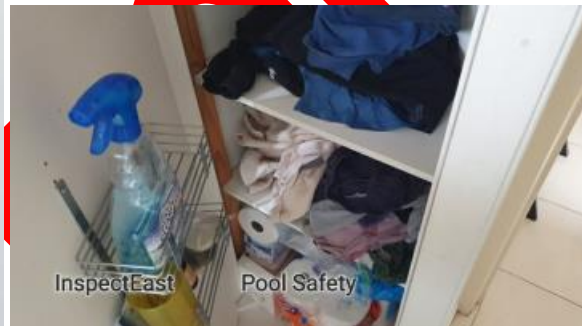
The doors bind to the laundry linen cupboard(s) and require adjustment to assure the doors function as intended. Recommendation; A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.

SAMPLE ONLY



InspectEast

Pool Safety



InspectEast

Pool Safety



InspectEast

Pool Safety



InspectEast

Pool Safety



InspectEast

Pool Safety

ONLY

WET AREAS

KITCHEN:

Kitchen Fixtures:

The condition of the fixtures is generally fair.



Tiles:

The condition of the glass splash-back is generally fair.

Some tiles are cracked and drummy (loose) to the kitchen floor. Repairs are required, and any damaged tiles should be replaced by a tiler to prevent water penetration and decay to surrounding components.

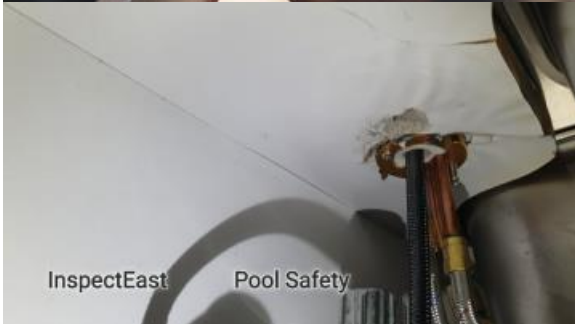


Sink & Taps:

The sink & tap area appears to be leaking and requires repair or replacement by a plumber, as this free water may cause decay to surrounding components.

The leak appears to from the tap region.

The tap is loose. This will require securing by a plumber to prevent the free water causing decay to surrounding components.



MAIN BATHROOM:

Shower/Bath Condition:

It appears the shower recess is leaking. This has caused some wet rot decay damage to the surrounding components. (Please refer to heading Subfloor and Footings- then refer to-Wood decay damage) for further information Rectification is required and the extent of works should be determined by a Licensed Builder without delay.

Preferred Contractor details: If you need a company that carries out shower repairs that are fully licensed, see link;- ##### for details, let them know you are our client as they may wish to view the report for assistance.

Note: It appears that timber floor boards has been used as the substate material to the underside of the tiled cast-in-sit-u shower base area, this is not considered a suitable material for this purpose and not considered good industry practice. This may affect the overall life span of the shower recess and may affect the warranty and performance of the waterproofing membrane if present, when conducting works to shower recesses we recommend using an industry's standard substrate as a tile baker i.e.: Scyon and/or compressed sheeting.

Note: The base structure positioned to the underside of the tiled shower base is not providing adequate support to the underside of the shower. Repairs and or additional support is required to ensure the area is suitably supported, without the correct support movement and deterioration of grout, tiles and waterproofing can occur. This can allow water to penetrate surrounding areas and cause further deterioration. A licensed carpenter is required to review and carry out suitable repairs.



Tiles:

The grout is loose and/or missing within the shower alcove and requires replacing by a professional tiler to prevent water penetrations and decay to surrounding components.

A flexible sealant should be installed by a suitably qualified professional to the gaps between the tile base and tiled shower base. This is to prevent water penetration and decay to surrounding components.

Note: The sealant present has mould present to the underside of the sealant. The main cause of mould growth in silicone is water getting behind the silicone, this condition is evidence that the sealant is no longer functioning as intended. Replacement is recommended as itemised in comments.

Some tiles are drummy (loose) and cracked to the shower alcove and bathroom floor. Repairs are required, and any damaged tiles should be replaced by a tiler to prevent water penetration and decay to surrounding components.



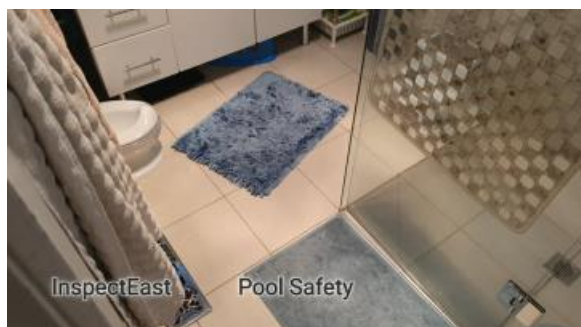
Basin & Taps:

The basin & cabinets appear serviceable.



Floor/Floor Waste:

There is no visible floor waste and no way for any overflow of water to escape. The area will need to be used with care.



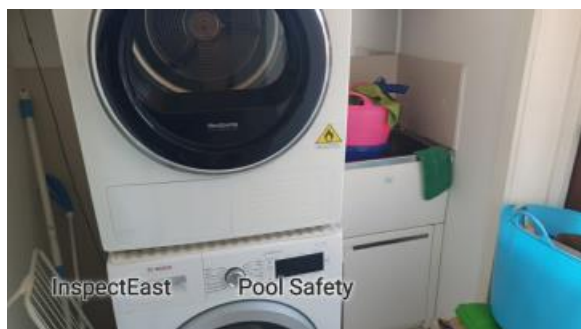
Ventilation:

Exhaust fan appears to function as intended.

LAUNDRY:

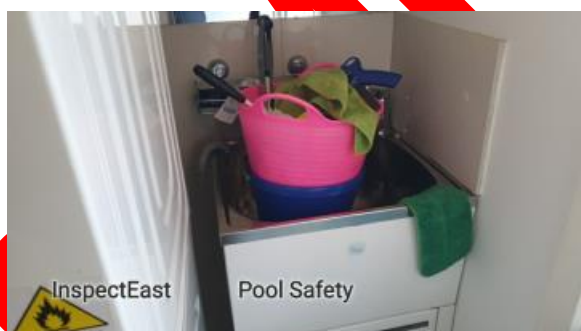
General Condition Of Area:

This area is generally in fair condition.



Tub & Taps:

The tub and taps was not tested due to stored goods or other limitations. No comment is made on this area. Defects may be present and not reported at this stage. Further tests should be carried out.



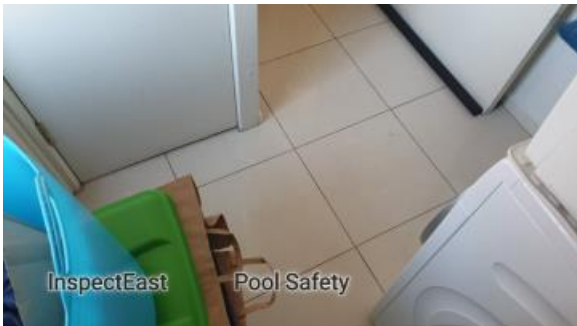
Tiles:

A flexible sealant should be installed by a suitably qualified professional to the gaps between tile base and laundry tub. This is to prevent water penetration and decay to surrounding components.



Floor/Floor Waste:

There is no visible floor waste and no way for any overflow of water to escape. The area will need to be used with care.



Ventilation:

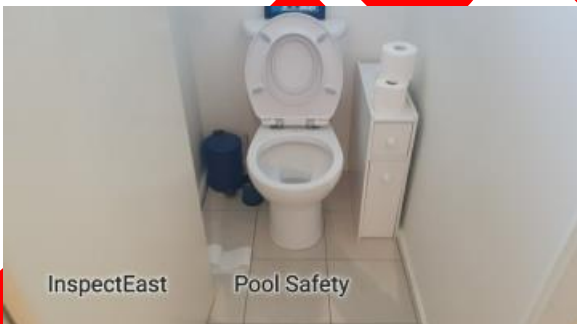
Exhaust fan appears to function as intended.

However the fan is noisy on start-up, this should be reviewed by a licensed electrician.

TOILET:

Room Location:

The toilet is positioned adjacent to the bathroom.



General Condition Of Area:

This area is generally in fair condition.

Toilet Condition:

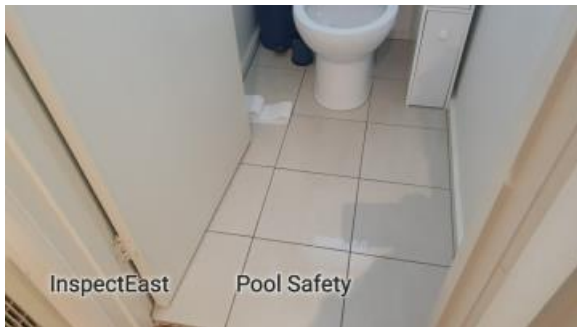
The toilet appears to be in working order.

The toilet area is restrictive as the toilet door swings inwards. In case of an emergency, the door cannot be easily removed from the outside. Recommend that lift off door hinges be installed by a carpenter to comply with the current safety standards.



Tiles:

The condition of the tiles is generally fair.



Floor/Floor Waste:

There is no visible floor waste and no way for any overflow of water to escape. The area will need to be used with care.

Ventilation:

Exhaust fan appears to function as intended.

Important Wet Area Notes:-

- Shower areas (where present) are visually checked for leakage, however leaks often do not show except when the shower is in actual long-term use. It is very important to maintain adequate sealing in the shower/bath/basin areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.
- Maintaining sealant is strongly recommend to splash-backs, shower bases and behind tap flanges and the like to reduce the risk of possible water penetration to surrounding components.
- In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

ROOF SYSTEM INTERNAL

INSPECTION LIMITATIONS

Restrictions:

The roof void cavity has insulation present restricting the inspection to some roof framing timbers within this area. Removal of limitation/s is not within the scope of this visual inspection report however, we recommend that limitation/s be removed a re-inspection be conducted. As defects and or timber pest may be present and not detected.

Note: This includes but is not limited to: Ceiling joist, top wall plates and rafters etc.

ACCESS LIMITATIONS

Restrictions:

Inspection within the roof cavity was significantly restricted due to the method of roof framing construction. This allowed only a very limited visual inspection to be carried out. Area was viewed from the access point only.

Inspection over the eaves and low areas to the perimeter of the building was restricted due to the low pitch and method of construction allowing only a limited visual inspection from a distance. Items such as top plates and ceiling and roof framing in these areas was not able to be fully inspected. Defects and or timber pest may be present and not detected.

A hot water tank and support frame is present in the roof void restricting inspection of this area. We recommend the unit be removed by a suitably qualified professional to enable a more complete inspection to be conducted.



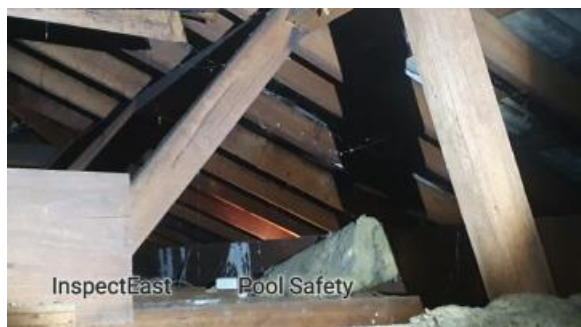
Important Note:

- A comment is not made where full access was unable to be gained. Damage and or defects may be present and not detected in area(s) where inspection was limited, obstructed or access was not gained. If restrictions or limitations are noted we strongly recommend access be gained to enable a full inspection to inaccessible area(s).
- Roof voids are not designed to be traversed and contain many potential hazards. Anyone considering entering the roof void must only enter when they have assessed that it is safe to do so. Safety hazards in roof voids include falling, electrical shock, trip hazards, chemical hazards, dust hazards, impalement hazards, heat stroke and the like.

ROOF FRAMING:

Roof Supports - Type And Condition:

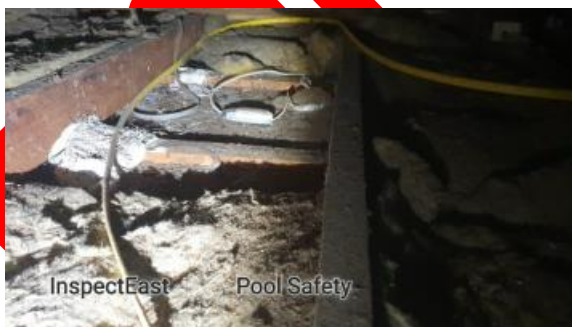
The cut & pitched roof system visible appears to provide adequate support for the roof covering material.



INSULATION & SARKING:

Insulation Status:

The insulation visible is not thick and full and is poorly distributed. It is not fit for purpose. We recommend that it be replaced by a suitably qualified professional to improve the overall thermal performance of the dwelling.



Sarking Status:

There is no sarking membrane present in the roof area.

PARTY WALLS:

Details:

A party wall visible is present in the roof space separating adjoining properties and appears to function as intended.

TIMBER PEST ISSUES:

Description:

Please refer to pest inspection for details.

OTHER DEFECTS AND/OR SAFETY ISSUES:

Description:

The electrical down light/s do not have fire protection cover/s installed which could present **safety hazard/ fire issue**. Fire protection cover/s should be installed by a licensed electrician as a matter of urgency.

Moderate efflorescence is noted to the underside of the roof tiles. This is when a white powdery deposit forms on the underside surface of tiles. Efflorescence is caused by moisture ingress. As the moisture enters and moves through the tiles, it dissolves mineral present, this mineral salt solution eventually finds its way to the underside of the tiles.

Note: Please refer to roof covering section of this report for further information.



SAMPLE COPY

ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water-tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out.

EXTERNAL ROOF:

Roof Style:

The roof is of pitched construction.

Tile Roof Covering Condition:

The overall condition of the tiled roof coverings is acceptable.

Note- The primary function of the roof system is to protect against and manage the weather elements, thereby protecting the interior and structural components of the building.

Because of the important functions this system provides, its condition should be assessed regularly and maintenance provided where/as necessary. Failure to provide consistent professional style maintenance will reduce the life expectancy and may cause the roof to leak prematurely.

The component of roofs that is most vulnerable to early deterioration is the area around the flashings (chimneys, plumbing stacks, the intersection of two or more roof slopes and skylights.) It is not uncommon for these areas to develop a leak well before the rest of the roof material has aged significantly. So while the roof coverings appeared to be serviceable on the day of the inspection we however recommend the roof coverings should be monitored under heavy rain conditions and on a regular basis (at least semi-annually) to detect any changes in condition that may indicate that repair is necessary. Leaks left unattended can cause serious damage to other systems and components of the home.



FLASHINGS:

Roof Flashing - Condition:

Flashings appear to be in serviceable condition. It should be noted that flashings are only viewed from a distance in some areas and sometimes defects are very small and not clearly visible on the day of the inspection. Recommend flashings be monitored by a licensed plumber on a regular basis.

Gutters & Downpipes:

Gutters appear to be in serviceable condition. However, they require regular cleaning to prevent rust and deterioration.

VALLEYS:

Condition:

The overall condition of the valley metal is acceptable.



EAVES, FASCIAS & BARGE BOARDS:

Eaves Type & Condition:

Some eaves linings are loose and or missing and gaps and holes are present (the trim section of the eaves) to the eastern, southern, and western side/s of the property and should be replaced and or repaired. A licensed carpenter should be called to install missing eave linings.

Note:- We strongly recommend that area be made vermin proof, as evidence suggests vermin are entering the property.

Water damage/staining is present to the eaves linings to the eastern side/s of the property. This should be further evaluated by a professional roof plumber to prevent further deterioration then a licensed carpenter to rectify the damage caused.

Note: This appears to past damage.



Fascia's & Bargeboards Type & Condition:

The paint work is deteriorating and maintenance is required by a professional painter to prevent deterioration of the timbers. This was observed to the eastern and western side/s of the property.

Important Note: The roof system including roof covering/s, flashing/s, gutter systems, down-pipe/s, drain/s and water tanks together collect and direct rainwater away from the dwelling. Reducing the risk of water entering a building and damaging surrounding components and/or its foundations. Regular maintenance of the rainwater catchment system/s, especially keeping gutters free of leaves and debris is very important and should be carried out on a regularly by all home owners.

SUB FLOOR AND FOOTINGS

CAVITY PRESENT/NOT ACCESSIBLE

Restrictions:

Full inspection was limited to the sub floor area by the presence of heating/cooling ducting and stored good/s. We recommend a more complete inspection of this area and removing limitations to allow full access and a re-inspection be conducted.



Defects and or damage requiring rectification may not be apparent to the inspector due to the restriction/s. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s). This is extremely important as timber pest activity and/or timber pest damage may be present and not detected.

TIMBER PEST ISSUES:

Description:

Please refer to pest inspection for further details.

WOOD DECAY DAMAGE:

Description:

Severe wood decay damage was noted to the sub floor under the bathroom.

Damaged timbers require replacement without delay to assure the structure remains stable, the joist/s and flooring timbers are decayed, further concealed timbers may also be decayed. A licensed carpenter or licensed builder is required to provide a further assessment and to offer suitable rectification as required, and the source of the water leak repaired by a licensed plumber to prevent further deterioration.



VENTILATION:

Description:

The under floor ventilation appeared to be limited. This may provide conditions that could encourage decay of timber components. Poor ventilation also creates an environment highly conducive to termites. Upgrading of the ventilation is recommended. A licensed builder is required to provide a further assessment and to offer suitable rectification as required.

Note: It appears that the subfloor heating/cooling ducting is low and limiting and external vents covered over or restricted reducing the natural cross flow ventilation. We recommend modifications be made to ensure adequate ventilation is achieved.

SUB FLOOR - OTHER DEFECTS OR ISSUES:

Details:

Although this is not an asbestos materials audit, it appears Asbestos flue material is present under the floor. It must be noted that asbestos materials present as a **serious health hazard**. Due to these associated health risks, asbestos material should not be disturbed in any form, and should be kept maintained and fully sealed to avoid exposure. We strongly recommend an asbestos audit be conducted without delay to determine if asbestos containing material is indeed present. These tests and any modifications or removal should only be conducted by a suitably qualified licensed Asbestos contractor.

The under floor soil is damp. This may be due to the leaking shower (Please see Bathroom section of the report for further information). Rectification is required, as this dampness may cause timber deterioration to the floor frame. Damp soil also create conditions highly conducive to termite attack and the source of the damp should be further investigated and addressed by a licensed builder to prevent such issues.

Please refer to pest inspection for details.

Minor to moderate efflorescence is noted to the brick footings. This is when a white powdery deposit forms on the surface of bricks, masonry or concrete. Efflorescence is caused by moisture ingress. As the moisture enters and moves through the wall, it dissolves mineral salts present in the cement, this mineral salt solution eventually finds its way to the surface of the wall. This can lead to proliferation of mould, moss, mildew and other organic growth, and persistent musty smells. Also unattended it will eventually wash out all the soluble salts and cause a breakdown of the cement mix reducing the strength of the mortar and/or concrete. Recommend the moisture source be eliminated and the area be cleaned to remove efflorescence. A qualified waterproofing contractor should be engaged to make further recommendations.

Note: This was observed adjacent to the rear stair structure.

No ant caps are fitted. The purpose of ant capping is to prevent concealed termite entry by forcing the termites build mud tunnels around the visible sections of the ant capping enabling detection during a pest inspection. Ant capping will not prevent the entry of termites to a structure however, correctly fitted ant caps will assist in early detection. If it is not possible or practicable to fit ant capping, this area should be regularly inspected by a Licensed Pest Inspector.

Leaks were noted in the drainage pipes under the bathroom. This has led to major decay. Please refer to the appropriate sections of the report for further details.





FOOTINGS:

Type:

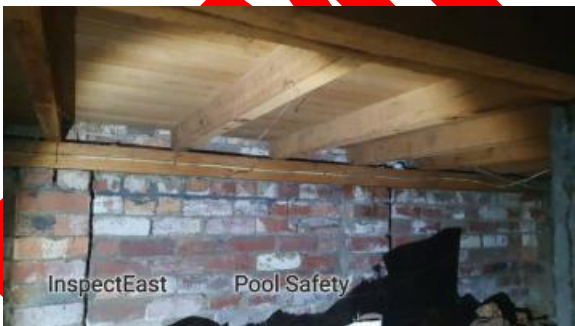
The building footing system construction type is Strip footing and concrete stump/s.

General Condition:

There appears to have been settlement in the building footing system. This settlement is usually due to ground movement and subsequent movement to building materials can be expected. Periodic maintenance and or repair will be required. The level of deterioration is considered at a minor level at the time of the inspection.

Recommendation: We strongly recommend that licensed structural engineer be engaged to further investigate and offer further evaluation and repairs and/or rectification works.

Note: Items and conditions present that are considered common signs footing and or foundation issues: External masonry cracking and Gap/s and or evidence of Movement to window/s frames Please refer to each section of this report for further details to the defects present.



SAMPLE ONLY

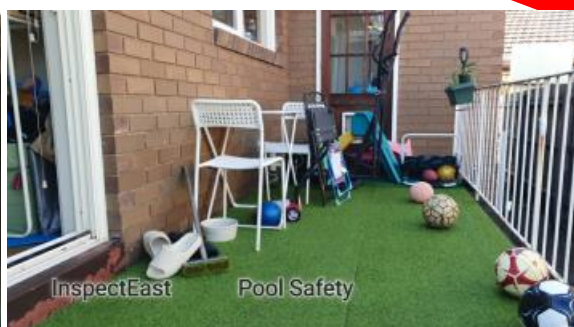
EXTERNAL AREAS

INSPECTION LIMITATIONS

Restrictions:

Inspection to the exterior was restricted due to Boundary and or common external walls were not inspected as access was not gained to adjoining properties. This prevented inspection. No comment is made or opinion offered where full access could not be gained. Defects and or timber pest may be present and not detected.

must be removed to enable a more complete report to be submitted. No comment is made or opinion offered where full access could not be gained. Defects and or timber pest may be present and not detected.

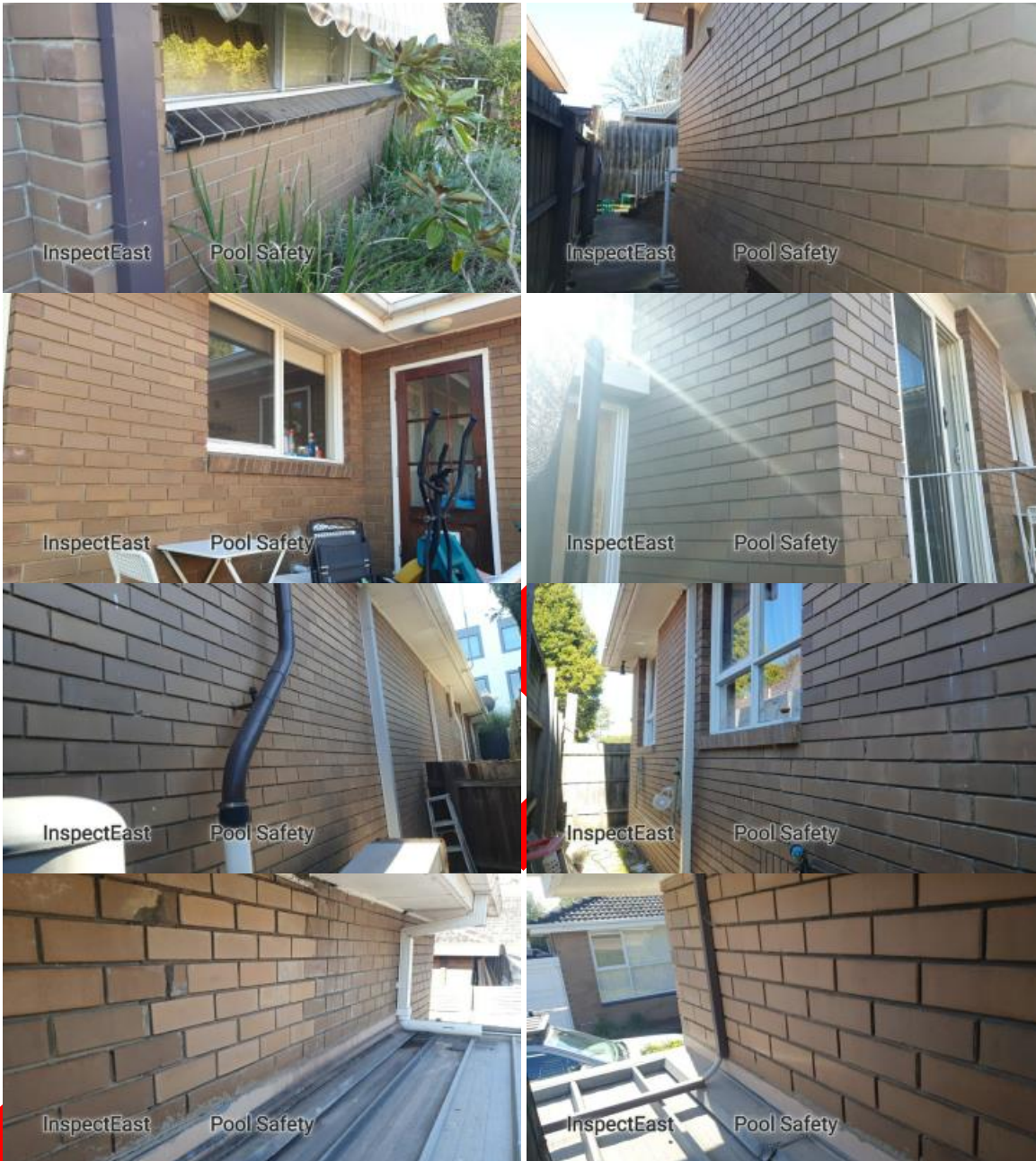


Defects and or damage requiring rectification may not be apparent to the inspector due to restriction. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s).

EXTERNAL WALLS:

General Condition:

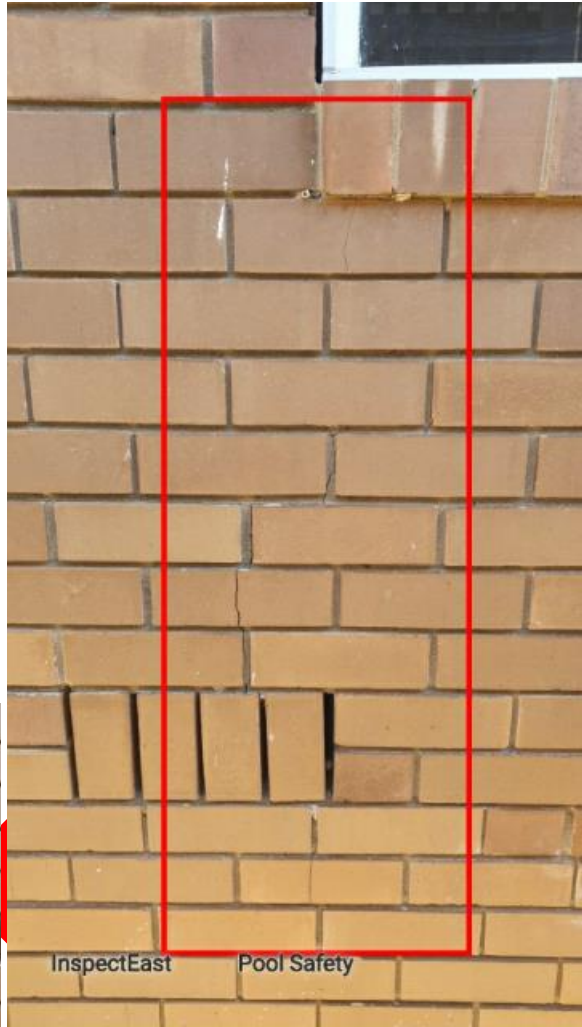
The condition of the walls is generally fair.





Cracking To Masonry Or Concrete Elements:

Cracks and/or evidence of movement is evident to the eastern and southern elevation/s of the property. Visible cracking has been categorized as a serviceability defect. Cracking of a building element is a serviceability defect where in the opinion of the inspector the function of the building element is impaired however, the expected consequence of this cracking is unknown until further information is obtained. A structural engineer should be called to make a further evaluation and repairs or rectification as needed.



SAMPLE



WEEP HOLES AND VENTS:

Vents:

The vents (the openings to the base of the brick walls) which are designed to ventilate the subfloor (under floor region) are blocked and/or partly blocked by gardens, soil or pathway heights to the northern elevation(s). This situation reduces the cross ventilation to the subfloor area and can cause damp conditions and other related defect/s. A licensed builder and/or landscaper is required to lower all external ground levels assuring the vents are completely uncovered without delay.

Note: Please refer to the footing system ventilation section of this report for further details.

LINTELS:

Type & Condition:

The lintels are of an unknown material. We could not determine the material as they are concealed by external cladding material.

WINDOWS:

Windows Condition:

Gap/s are present to the sides of the timber windows to the eastern elevation/s of the property. We recommend that storm moulds and or infill sections are fitted to prevent potential vermin entry (i.e.: wasp etc) and or ensure water does not penetrate through this area, which could lead to decay of the surrounding components. A licensed carpenter is required to provide a further assessment and to offer suitable rectification.

Moderate rot and or decay is present to the window frames. Maintenance, repair and/or replacement will be required by a qualified carpenter. This was observed to the western side/s of the property. A licensed carpenter required to provide a further assessment and to offer suitable rectification as required.





EXTERNAL STAIRS:

Stair Construction Type & Position:

The stair position is to the front of the dwelling. The stairs are constructed primarily from concrete and brick.



Stair Condition:

Metal balustrades and or handrails are rusted to the stairs and treatment with an anti-rust paint is required to prolong the life of the material. A licensed painter is required to provide a further assessment and to offer suitable rectification as required.

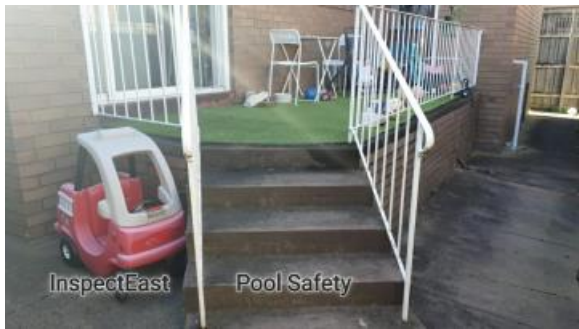
Some cracked and drummy tiles were noted to the stairs. Replacement of damaged tiles is recommended. A professional tiler should be called to conduct suitable repairs.



EXTERNAL REAR STAIRS:

Stair Construction Type & Position:

The stair position is to the rear of the dwelling. The stairs are constructed primarily from concrete and brick.



Stair Condition:

Metal balustrades and or handrails are rusted to the stairs and treatment with an anti-rust paint is required to prolong the life of the material. A licensed painter is required to provide a further assessment and to offer suitable rectification as required.

Gaps are present between the stair structure and the wall of the dwelling. This is allowing water to penetrate the affected areas and this is causing water related damage to the subfloor area. We strongly recommend that a suitably qualified professional is engaged to caulk and waterproof the area to prevent further deterioration.

Minor to moderate movement is evident to the concrete stairs. This will require some maintenance or repair by a concreter, as its possible this movement may present as a safety issue in the future.





Safety & Defect Issues:

The handrails and balustrade/s do not appear to comply with the current BCA Standards for height and spacing. Although this report does not generally comment on items of compliance, this issue is a current a **safety hazard** and therefore was included in this report. Recommend the handrails/balustrades be upgraded to the current Australian safety standards without delay. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.

Important Note:

- Stairs are a safety critical element and in the interest of safety, current building regulations and/or codes have promoted greatly improved stair design and construction in recent years. Whilst not a legislative requirement, the prudent home owner should consider bringing older stairs up to the current standards of the current building codes. As a failure of a safety critical element may result in serious injury or death, it is strongly recommended that stairs be inspected by a suitably qualified professional on an annual basis.

DAMP COURSE:

Type & Condition:

A damp-proof coursing material could not be identified. Where a damp proof coursing material is not visible or cannot be identified, rising damp may become a future problem. This should be further investigated, as a damp proof course may need to be installed. A licensed builder is required to provide a further assessment and to offer suitable rectification as required.

FENCES & GATES:

Fences Type & Condition:

The fences are mainly constructed from timber.

The fences are generally in fair condition.

Note: Repairs or maintenance is required. The fences are leaning to the rear side/s of the property. We recommend repairs are carried out by a licensed carpenter to assure the fences remain secure.

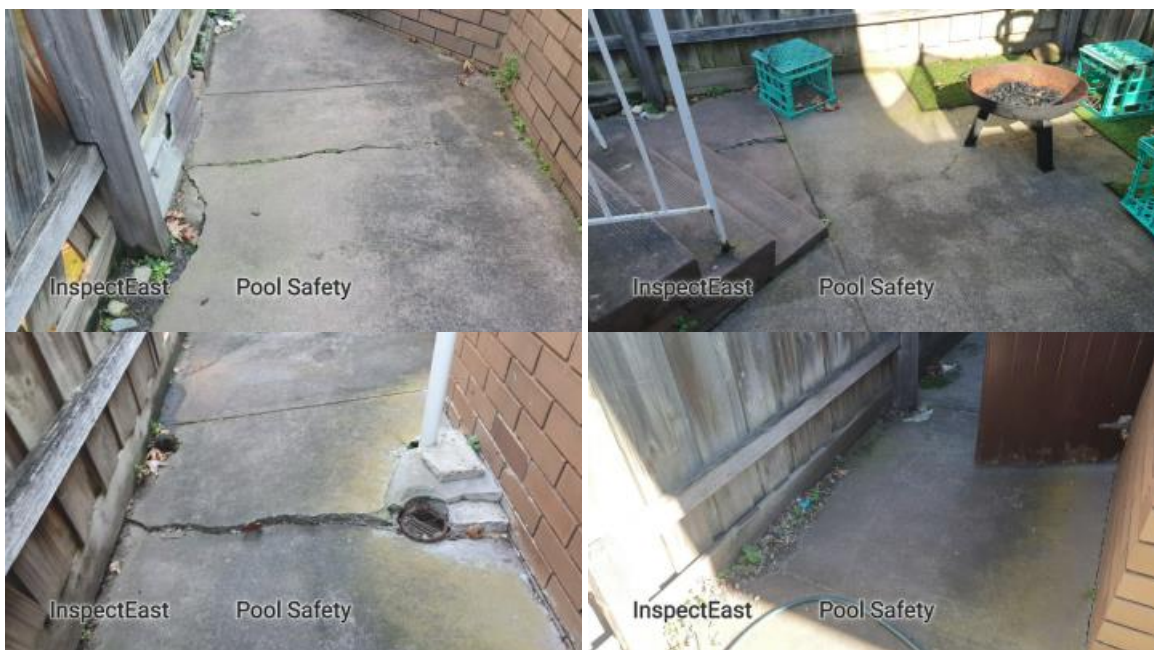


PATHS/PAVED AREAS:

Type & Condition:

The concrete paths/paved areas have subsided in areas and will require repairs by a suitably qualified professional.

Note: This presents a potential safety hazard and we recommend immediate repairs be undertaken.



DRAINAGE - SURFACE WATER:

Description:

The drainage to the garage appears inadequate. This was observed to the front elevation/s. Poor site drainage can create unstable foundations and/or destabilise the foundations that may have an adverse structural effect to the dwelling. Rectification is required. Drains should be installed to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. Please contact a licensed drainer/plumber and/or licensed builder to make a further assessment and to offer suitable rectification advice.



Important Drainage Note/s:

- The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a smoke test be obtained to determine any illegal connections, blocked or broken drains.
- Drainage problems are often only discernible under heavy rain conditions
- The effect of poor drainage on foundations is often dependent on the soil type. Establishing the soil type is beyond the scope of this inspection.
- Generally, to ensure that water drains away from the base of the footings, the profile of the ground adjacent to the building should slope away from the base of the exterior walls and all the stormwater drainage should be connected, maintained and free from blockage.
- Poor drainage conditions is also conducive to timber pest activity such as fungal decay and termites.

Important Tree Note/s:

- Inspection of the tree/s on the property for disease, stability and soundness is not within the scope of this inspection and/or reporting process.
- Roots of trees and/or shrubs can negatively impact footings by removing moisture from clay soils immediately underneath the building causing subsidence as the clay shrinks.
- In the search for water, a tree root system can spread a lateral distance equal and/or greater than the height of the tree. If in rows and/or grouped tree/s, the roots systems may spread up to twice the height of the tree.
- In addition, consideration should be given to trees closer than their mature height may be blown over and/or fall onto buildings.

SAMPLE ONLY

GARAGING

GARAGE

Describe Garaging

A single car garage.



Garage Location:

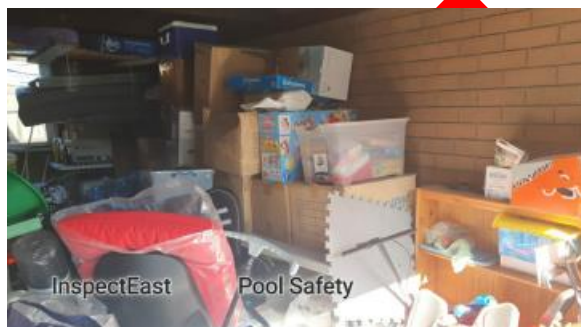
The garage is positioned adjacent to main building.

INSPECTION LIMITATIONS

Restrictions:

Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted. Defects and or timber pest may be present and not detected.

Boundary and or common external walls were not inspected as access was not gained to adjoining properties.



Defects and or damage requiring rectification may not be apparent to the inspector due to restriction. If restrictions or limitations are noted we STRONGLY recommend further access be gained to enable a full inspection of the area(s) prior to making a decision on this property.

GARAGE DETAILS

General Overall Condition:

The overall condition of the garage visible is fair.

External Walls Constructed From:

The external walls are constructed single brick construction.

External Walls General Condition:

The condition of the walls is generally fair.



Lintels - Type & Condition:

The lintels are of timber.

The condition of the lintels is generally fair.

Front Doors - Type & Condition

Minor wet rot decay is present to timber to the door and frame. Maintenance or replacement is required by a licensed carpenter.

Minor rust is evident to the door. This may reduce the service life of the door. This should be treated to prevent further deterioration.



Rear Doors - Type & Condition

The rear timber hinged door is in poor condition. This is due to moisture issues from the gutter system.

Note: Replacement is more than likely the most cost effective option.

Weather strips should be installed to the external garage door/s to prevent water entry which could lead to wet rot decay. A licensed carpenter is required to provide a further assessment and to offer suitable rectification as required.



Windows Condition:

Putty within the windows have deteriorated and requires repair to prevent water penetration and decay to surrounding components. A licensed glazier is required to provide a further assessment and to offer suitable rectification as required.



Roof Construction:

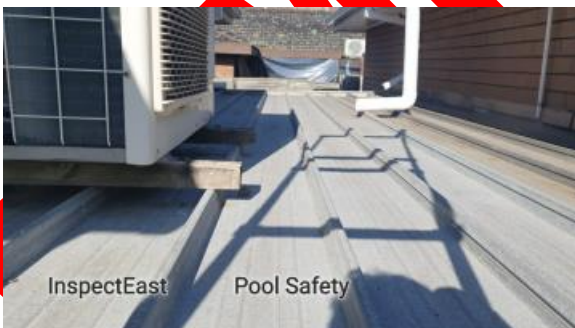
The roof is of skillion style construction.

Roof Covering:

The roof covering material to the garage is metal decking.

Sheet Roof Covering Condition Detail:

The pitch of the pitched roof appears to be to flat to the garage. This may allow wind driven rain penetration or water ponding and rectification is required. A licensed roof tiler is required to provide a further assessment and to offer suitable rectification as required.



Roof Flashing - Type And Condition:

Flashing is not correctly set into the brickwork to the eastern side/s of the roof area. This needs to be repaired without delay, as the water penetration may lead to decay and or deterioration of the surrounding building components. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

Metal roof flashing/s are surface rusted to the garage roof and treatment with an anti-rust paint is required to prolong the life of the material. A licensed roof plumber is required to provide a further assessment and to offer suitable rectification as required.



Gutters & Downpipes:

Garage gutter is not correctly supported to the southern elevation/s and should be repaired and clips replaced as necessary. A licensed roof plumber is required to provide a further assessment and to offer suitable rectification as required.

Note:- The damage present appears to be the support system for the gutter system.



Roof Supports - Type And Condition:

The cut and pitched roof timbers visible appear to provide adequate support.



Floor - Type & General Condition

Visual limitations are present to the garage floor, no opinion is offered. We recommend area be accessed and a re-Inspection be conducted prior to committing to the property.

Timber Pest Issues:

Please refer to pest inspection for details.

SAMPLE ONLY

UTILITIES

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We Strongly recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

SERVICES:

Electrical:

Power supply is protected by RCD (Residual Current Device) safety switching on power circuit/s and by visual observation is not considered defective. We recommend contacting a licensed electrician to assure the electrical safety switch is functioning as intended and as verification safety performance of the RCD (Residual Current Device).



HOT WATER SERVICE:

Hot Water Details:

The hot water is a gas storage hot water system.

The hot water service is positioned externally.

The hot water system appears to be in working condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise. The overflow pipe/s to the hot water service and air conditioning split system/s is not connected to the storm water system. This can affect the timber pest management of the property and also the free water next to the dwelling may have an adverse effect on the foundations. Recommend the overflow/s be connected to the stormwater system by a licensed plumber.



CONCLUSION

The scope and purpose of the Inspection: This inspection is a visual building inspection assessment of the property to identify major defects and to form an opinion regarding the condition of the property at the time of the inspection.

Important Note: Within the areas inspected some further restrictions may have been present restricting or preventing our inspection. Should there be any areas or elements listed throughout the report which were not fully inspected due to access limitations or impairment or where visual limitations were noted at the time of inspection, or where recommendations for further access to be gained was made, then it is essential and we strongly recommend these areas or elements be accessed and re-inspected, as building defects and/or damage may be present and not detected.

SUMMARY OF HIGH RISK-AREAS NOT INSPECTED/ NOT ACCESSIBLE OR WHERE INSPECTION WAS IMPAIRED AND WHERE FURTHER INSPECTION SHOULD BE CONDUCTED:

Further Access Required:

External:

Access was not gained to some external areas as detailed in the report.

Internal:

Access was not gained to some floors, walls, storage cupboards and robes due to furnishings and stored goods as detailed in the report.

High moisture levels were detected to some internal walls as noted in the report. This can be an indicator of a free moisture source (water leak) or possible timber pest activity. In all cases where a high moisture level is encountered, we strongly recommend further invasive investigations be carried out to determine the cause of this situation. Because high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

Subfloor:

We were unable to gain access to the entire subfloor void as detailed in the report. It should be noted that the under floor area is the prime area of timber pest attack and active termites or other timber damaging pests. We strongly recommend that access be gained and a re-inspection conducted. This may be achieved by cutting of mantraps or gaining access through foundation walls as appropriate. The lifting of floor coverings (if present) in an attempt to locate existing floor traps has not been carried out and is not within the scope of a standard visual inspection. Should the floor timbers be exposed and polished, a carpenter should be engaged to cut traps.

Roof Void:

Access was not gained to the roof frame due to the lack of access as detailed in the report.

Access was not gained to the top side of the eaves, sections of the ceiling joist/s and top wall plates due to low heights and existing insulation as detailed in the report.

Garage:

Access was not gained to internal and external areas of the garage as detailed in the report.

Important Note: Building defects, maintenance issues, active termites and/or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not fully gained. We strongly recommend that access be gained to the currently inaccessible and or restricted area(s) to allow a more complete report to be submitted.

OTHER INSPECTIONS AND REPORT REQUIREMENTS

Recommended Inspections And Reports:

Additional Building and Timber Pest Inspection to areas restricted and/or not accessible of the day of this inspection. Asbestos fibre containing material audit. Common Areas Inspection. Appliance Inspection. Structural (Engineer). Waterproofing Inspection. Plumbing Inspection. Drainage Inspection and Smoke Test. Electrical Inspection. Council Plan Inspection.

Important Note: It is Strongly Recommended that the above Inspections and Reports be obtained. Obtaining these reports will better equip the reader to make an informed decision.

SUMMARY - OVERALL CONDITION OF PROPERTY

Major Defects In This Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of major defects are beyond the inspector's expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Minor Defects In This Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

Average: The frequency and/or magnitude of minor defects are consistent with the inspector's expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **Average**. There may be areas/elements requiring minor repairs or maintenance.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: The summary is only a general overview of the property and must not be relied upon on its own. You MUST read the report in its entirety. The summary within this report regardless of its placement is supplied to allow a quick and superficial overview of the General Area(s) where inspection was Limited and the General Condition of the Property. The Summary is NOT the Report and cannot be relied upon on its own. The Summary Must be read in conjunction with the full report and not in isolation from the report. If there should happen to be any discrepancy between anything in the Report and anything in the Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

Building Maintenance Responsibilities: To protect against financial loss, it is strongly recommended that:

- Any defects identified in this inspection report be immediately rectified and/or controlled
- Conditions conducive to structural damage and timber pest activity be immediately removed, rectified and/or monitored if unable to be rectified or removed.

The importance of removal of conducive conditions is often not fully appreciated and as a consequence, structural damage and/or damage and/or timber pest activity have resulted in subsequent loss. It is also recommended that any high risk-risk areas (e.g. where access was not gained and/or areas where areas were concealed by obstructions) be further investigated prior to committing to the property. Importantly, Standard AS 4349.1 Inspection of Buildings recognises that a standard property report is not a warranty against problems developing with the dwelling and/or property within the future. Accordingly, a preventive maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure in respect to timber pests to help minimises the risk of any future loss. Thorough regular inspections should be undertaken at intervals not exceeding

12 month intervals and more frequent inspections where the risk of timber pest attack is high and/or if the building type is susceptible to attack. If you require further information on a high risk management program, please do not hesitate to contact Inspect East Building Inspections on 0405 327 855.

SAMPLE ONLY

IMPORTANT INFORMATION:

The following forms are an integral part of the report and MUST be read in conjunction with the entire report.

General Definitions used in this report:

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

Good - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

Fair - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Above Average - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long-term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

General and Important Information:

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, and this may not be evident upon initial inspection. These rooms may not have council approval. The vendor and or purchaser should make their own enquiries with the Council to ascertain if approval was given.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advice on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly suggest a pool expert should be called to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non-compliance under the legislation.

Surface Water Drainage: The retention of water from surface run-off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run-off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is not an all-encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*e.g. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas

(non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of an additional Special-Purpose Report.**

4) CONSUMER COMPLAINTS PROCEDURE: In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty-one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by Us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation, one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by Arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

5) ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided. If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to people's health. You should seek advice from a qualified asbestos removal expert."

6) Mould (Mildew and Non-Wood Decay Fungi) Disclaimer: Mildew and non-wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7) Estimating Disclaimer: Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

8) Cracking of Building Elements: The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

Appearance Defect: Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect: Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

- 9) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -
- The assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 - Information provided by the person, the employees or agents of the person requesting the report;
 - The specific areas of expertise of the consultant specified in the report;
 - Apparent concealment of possible defects;
 - Any other factor limiting the preparation of the report.
- 10)** If the property to be inspected is occupied then you must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied you agree to:
- a) Obtain a statement from the owner as to
 - i. Any Timber Pest activity or damage;
 - ii. Timber repairs or other repairs
 - iii. Alterations or other problems to the property known to them
 - iv. Any other work carried out to the property including Timber Pest treatments
 - v. Obtain copies of any paperwork issued and the details of all work carried out
 - b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 11)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007.
- 12)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 13)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- 14)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause. However, We may sell the Report to any other Person although there is no obligation for Us to do so.
- 15)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - Compensation will only be payable for losses arising in contract or tort sustained by the Client named on the front of this report. Any third party acting or relying on this Report, in

whole or in part, does so entirely at their own risk. However, if ordered by a Real Estate Agent or a Vendor for the purpose of auctioning a property then the Inspection Report may be ordered up to seven (7) days prior to the auction, copies may be given out prior to the auction and the Report will have a life of 14 days during which time it may be transferred to the purchaser. Providing the purchaser agrees to the terms of this agreement then they may rely on the report subject to the terms and conditions of this agreement and the Report itself.

CONTACT THE INSPECTOR

It can be very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should contact the inspector and have the matter explained to you ASAP. If you have any questions or require any clarification then contact the inspector prior to acting on this report.

The Inspector: Brett White
Inspectors PH: 0405327855

..... End Of Report.....

SAMPLE ONLY

VISUAL TIMBER PEST INSPECTION REPORT

THIS IS A VISUAL TIMBER PEST INSPECTION IN ACCORDANCE WITH AS4349.3

AS4349.3 - Inspection of buildings Part 3: Timber Pest Inspection.

TERMS AND CONDITIONS

Any person who relies upon the contents of this report does so acknowledging that the following clauses which define the Scope and Limitations of the inspection form an integral part of the report.

This visual inspection was limited to those areas and sections of the property to which reasonable access (See Section 2.0 Reasonable Access) was both available and permitted on the date and at the time of inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. In an occupied property it must be understood that furnishings or household items may be concealing evidence of Timber Pests or damage which may only be revealed when the items are moved or removed. Inspection of fence lines and posts is restricted to those timbers above ground level and facing the property inspected. The inspection does not extend nor should comments be inferred in respect to timbers, palings, fence posts below ground level, or where timbers are obstructed by plant life or overgrowth or other materials which restrict or prevent physical bodily access. No inspection is inferred to areas of trees or external areas over 3.6 meters above the natural ground level. An Invasive Inspection will not be performed unless a separate contract is entered into. In the case of Strata type properties only the interior of the subject dwelling is inspected.

LIMITATIONS

Nothing contained in the Report implies that any inaccessible or partly inaccessible area(s) or section(s) of the property being inspected by the Inspector on the date of the inspection were not, or have not been, infested by Timber Pests. Accordingly, this Report is not a guarantee that an infestation and /or damage does not exist in any inaccessible or partly inaccessible area(s) or section(s) of the property, nor is it a guarantee that a future infestation of Timber Pests will not occur or be found. Australian Standard for Termite Management Part 2: In and around existing buildings and structures (AS 3660.2-2000) recommends that properties should be inspected at least every twelve (12) months but more frequent inspections are strongly recommended and may be recommended in this report.

SCOPE OF REPORT

This report is confined to the reporting on the discovery, or non-discovery, of infestation and/or damage caused by subterranean and dampwood termites (white ants), borers of dry seasoned timber and wood decay fungi (hereinafter referred to as "Timber Pests"), present on the date and at the time of inspection by visual inspection of those areas and sections of the property accessible to the Inspector. The inspection did not cover any other pests and this Report does not comment on them. Dry wood termites ("Family: KALOTERMITIDAE") and European House Borer (*Hylotrupes bujulus Linnaeus*) were excluded from the Inspection, but have been reported on if, in the course of the Inspection, any visual evidence of infestation happened to be found. If *Cryptotermes brevis* (West Indian Dry Wood Termite) or *Hylotrupes bujulus Linnaeus* are discovered we are required by law to notify Government Authorities. If reported a special purpose report may be necessary.

DISCLAIMER OF LIABILITY

No liability shall be accepted on account of failure of the Report to notify of any Timber Pest activity and/or damage present at or prior to the date of the Report in any area(s) or section(s) of the subject property physically inaccessible for inspection or to which access for inspection is denied by or to the Inspector (including but not limited to) any area(s) or section(s) so specified by the Report.

DISCLAIMER OF LIABILITY TO THIRD PARTIES

Compensation will only be payable arising for losses payable in contract or tort sustained by the Client named in this report either under the heading Report Commissioned By or the heading Purchaser.

This Report CANNOT be on sold by the Client or any other party other than the Report Author to any other party.

COMPLAINTS PROCEDURE

In the event of any dispute or claim arising out of, or relating to the Inspection or the Report, or any alleged negligent act or omission on Our part or on the part of the individual conducting the Inspection, either party may give written Notice of the dispute or claim to the other party. If the dispute is not resolved within twenty-one (21) days from the service of the written Notice then either party may refer the dispute or claim to a mediator nominated by Us. The cost shall be met equally by both parties or as agreed as part of the mediated settlement. Should the dispute or claim not be resolved by mediation then one or other of the parties may refer the dispute or claim to the Institute of Arbitrators and Mediators of Australia who will appoint an Arbitrator who will resolve the dispute by arbitration. The Arbitrator will also determine what costs each of the parties are to pay.

DETERMINING EXTENT OF DAMAGE

This Report is NOT a structural damage report. We claim no expertise in building and any inexperienced opinion we give on timber damage CANNOT be relied upon. The Report will not state the full extent of any timber pest damage. The Report will state timber damage found as 'minor', 'moderate', or 'severe'. This information is not the opinion of an expert. If any evidence of Timber Pest activity and/or damage resulting from Timber Pest activity is reported either in the structure(s) or the grounds of the property, then You must assume that there may be concealed structural damage within the building(s). This concealed damage may only be found when wall linings, cladding or insulation are removed to reveal previously concealed timbers. An invasive Timber Pest Inspection (for which a separate contract is required) is strongly recommended and You should arrange for a qualified person such as a Builder, Engineer, or Architect to carry out a structural inspection and to determine the full extent of the damage and the extent of repairs that may be required. You agree that neither We nor the individual conducting the Inspection is responsible or liable for the repair of any damage whether disclosed by the report or not.

IMPORTANT INFORMATION

Any person who relies upon the contents of this Report does so acknowledging that the above clauses define the Scope and Limitations of the inspection and form an integral part of the report. The Report is made solely for the use and benefit of the Client named on the front of this Report and no liability or responsibility whatsoever, in contract or in tort, is accepted to any third party who may rely on this Report wholly or in part. Any third parties acting or relying on this report do so at their own risk.

RECOMMENDATIONS FOR FURTHER ACCESS

Where recommendations are made for further access to be gained, whether those recommendations are made in the brief summary at the front of the report, the main body of the report or the summary in detail at the end of the report, such access and any further inspection required subsequent to access being gained must be carried out prior to committing to the property in question.

BRIEF SUMMARY - TIMBER PEST

IMPORTANT DISCLAIMER

This Brief Summary is supplied to allow a quick and superficial overview of the inspection results. This summary is **NOT** the Report and **cannot be relied upon on its own**.

Where recommendations are made for further access to be gained, or further inspections to be carried out, whether those recommendations are made in this brief summary, the main body of the report or the summary in detail at the end of the report, such access and any further inspection required subsequent to access being gained, or any further inspection recommendations, must be carried out prior to committing to the property in question.

This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in the Summary and anything in the Report then the information in the Report shall override that of this Summary.

For complete and accurate information, please refer to the following report.

ACCESS

Any Area(s) To Which Access Should Be Gained:

Yes - You should arrange access to an area or areas of the property and arrange another inspection. Please read the entire report. See details under headings - **Roof Cavity. Interior. External Areas. Subfloor. Garaging.**

Recommendations For Further Access:

Where recommendations are made for further access to be gained, whether those recommendations are made in the brief summary at the front of the report, the main body of the report or the summary at the end of the report, such access and any further inspection required subsequent to access being gained must be carried out prior to committing to the property in question.

TIMBER PEST ACTIVITY OR DAMAGE

Active Termites Found:

No - At the time of the inspection no visible evidence of termite activity (live termites) was found in the areas able to be inspected. Please read the report.

Damage Caused By Termites Found:

No - At the time of inspection no visible evidence of termite activity or damage was found in the areas able to be inspected. Please read the report.

Damage Caused By Borers Found:

Yes - Evidence (flight holes) of borers of dry seasoned timbers or borer damage was found. Please read the report.

Damage Caused By Wood Decay Found:

Yes - Evidence of damage resulting from wood decay fungi (wood rot) was found. Please read the report.

Important:

We strongly recommend the purchaser make inquiry from the vendor about Timber Pests and in particular Termites for this property.

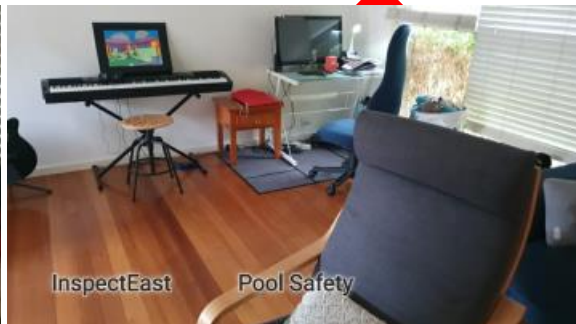
INTERIOR - TIMBER PEST

RESTRICTIONS:

Inspection Limitations

Visual limitations to floors, some walls and the robes were present due to but not limited to existing furnishings and or stored items restricting a complete evaluation of these areas and or components. Defects or timber pest may be present and not identified. Strongly recommend limitations be removed and a re-inspection be conducted to enable a more complete report to be submitted.

The external laundry door/s was locked at the time of inspection. A full evaluation of the door/s was not able to be conducted. Further investigation is recommended, as defects may be present and not detected.





Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s). See Section 2.0 - Reasonable Access.

EVIDENCE OF ACTIVE TIMBER PESTS

Details

No Timber Pest activity was detected to visible and accessible timbers at the time of the inspection.

It should be noted that inspection within this area was limited as noted. This comment regarding the absence of evidence of Timber Pest activity refers to the accessible inspected areas and timbers only.

CONDUCTIVE CONDITIONS

Details

High moisture levels were detected to some internal walls in or adjacent to the areas noted below. This can be an indicator of a free moisture source (water leak) or possible timber pest activity. In all cases where a high moisture level is encountered, we strongly recommend further investigations be carried out to determine the cause of this situation. The areas of high moisture should be investigated by way of an invasive inspection. A high moisture reading was reported, we strongly recommend a building expert be engaged to investigate the moisture and its cause and determine the full extent of damage.

Location/Area

Bathroom.

SAMPLE ONLY

ROOF INTERNAL - TIMBER PEST

Inspection within any accessible roof cavity will normally be limited by a number of factors including the method of construction, low pitched or inaccessible sections, insulating materials and ducting and in some instances, stored items.

RESTRICTIONS:

Inspection Limitations

The roof void cavity has insulation present restricting the inspection to some roof framing timbers within this area. Removal of limitation/s is not within the scope of this visual inspection report however, we recommend that limitation/s be removed a re-inspection be conducted. As defects and or timber pest may be present and not detected.

Note: This includes but is not limited to: Ceiling joist, top wall plates and rafters etc.

Access Limitations

Inspection within the roof cavity was significantly restricted due to the method of roof framing construction. This allowed only a very limited visual inspection to be carried out. Area was viewed from the access point only.

Inspection over the eaves and low areas to the perimeter of the building was restricted due to the low pitch and method of construction allowing only a limited visual inspection from a distance. Items such as top plates and ceiling and roof framing in these areas was not able to be fully inspected. Defects and or timber pest may be present and not detected.

A hot water tank and support frame is present in the roof void restricting inspection of this area. We recommend the unit be removed by a suitably qualified professional to enable a more complete inspection to be conducted.



A comment is not made where access was unable to be gained. Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. Timbers to the areas nominated were not accessed and not able to be inspected. STRONGLY recommend access be gained to allow a full inspection of inaccessible areas. See Section 2.0 - Reasonable Access.

EVIDENCE OF ACTIVE TIMBER PESTS

Details

No Timber Pest activity was detected to visible and accessible timbers at the time of the inspection.

It should be noted that inspection within this area was limited as noted. This comment regarding the absence of evidence of Timber Pest activity refers to the accessible inspected areas and timbers only.

EXTERNAL - TIMBER PEST

RESTRICTIONS:

Inspection Limitations

Inspection to the exterior was restricted due to Boundary and or common external walls were not inspected as access was not gained to adjoining properties. This prevented inspection. No comment is made or opinion offered where full access could not be gained. Defects and or timber pest may be present and not detected.

must be removed to enable a more complete report to be submitted. No comment is made or opinion offered where full access could not be gained. Defects and or timber pest may be present and not detected.



Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s). See Section 2.0 - Reasonable Access.

EVIDENCE OF ACTIVE TIMBER PESTS

Details

No Timber Pest activity was detected to visible and accessible timbers at the time of the inspection.

It should be noted that inspection within this area was limited as noted. This comment regarding the absence of evidence of Timber Pest activity refers to the accessible inspected areas and timbers only.

WOOD DECAY DAMAGE FOUND

Description

Yes - Wood decay damage was noted to the following timbers/areas.

Affected External Timbers

Window frames:

Location/Area

This was observed to the front elevation/s of the property.

Severity

Visible timber damage appears moderate. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

CONDUCTIVE CONDITIONS

Description

Services Conducive Conditions:

The hot water system and air-conditioning condenser relief valve/overflow(s) discharge moisture adjacent to the structure. Appliance units that release water alongside or near to building walls should be piped to a drain (if not possible then several meters away from the building) as the resulting wet area is highly conducive to termites.

Timbers Exposed To Weather and/or Water: Some species of timber may be used in areas for which they are not suitable. Where this occurs, the timber may be damaged by Timber Pests, in particular termites and wood decay. In most cases, these timbers may be protected with normal maintenance, e.g. regular painting. However in some cases, you should consider replacing the timbers with a more suitable species or material.

SUB FLOOR - TIMBER PEST

RESTRICTIONS:

Cavity Present/Not Accessible

Full inspection was limited to the sub floor area by the presence of heating/cooling ducting and stored good/s. We recommend a more complete inspection of this area and removing limitations to allow full access and a re-inspection be conducted.



Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. If restrictions or limitations are noted we strongly recommend further access be gained to enable a full inspection of the area(s). See Section 2.0 - Reasonable Access.

EVIDENCE OF ACTIVE TIMBER PESTS

Details

No Timber Pest activity was detected to visible and accessible timbers at the time of the inspection.

It should be noted that inspection within this area was limited as noted. This comment regarding the absence of evidence of Timber Pest activity refers to the accessible inspected areas and timbers only.

WOOD DECAY DAMAGE FOUND

Description

Yes - Wood decay damage was noted to the following timbers/areas.

Affected Subfloor Timbers

Floor joist/s: Flooring timbers:

Below The Following Location Or Area

Main bathroom:

Severity

Visible timber damage appears severe. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

LYCTUS BORER DAMAGE

Description

Evidence of Lyctus borer was found. Lyctus borer is not considered to be a significant pest of timber and as the damage is confined to the sapwood content of hardwood timbers, no treatment is required in respect of this borer. Lyctus borer damage was noted to the following timber(s)/area(s).



Affected Subfloor Timbers

Floor joist/s:

Below The Following Location Or Area

Main bedroom: Hallway:

Severity

Visible timber damage appears moderate. Refer to the definitions section of this report - Section 1.6 - Timber Damage.

CONDUCTIVE CONDITIONS

Description

We recommend the removal of loose timbers from the under floor area as these predispose the property to termite attack.

We note the general lack of ant capping. The purpose of ant capping is to reduce the risk of concealed termite attack by ensuring that termite workings are exposed and visible. Ant capping should be repaired or installed where possible. If this is not possible, regular inspections are recommended. Missing, damaged or poor termite ant capping increase the risk of termite infestation.

The under floor soil appears damp. This should be monitored on a regular basis as moist soil conditions are highly conducive to timber pest attack. Poor drainage, especially in the subfloor, greatly increases the likelihood of wood decay and termite attack. We claim no expertise in plumbing and drainage, however it may be that the drainage is inadequate and in need of improvement.

SUBFLOOR VENTILATION

Description

The under floor ventilation appeared to be limited. Poor ventilation creates an environment highly conducive to termites. Upgrading of the ventilation is recommended. A licensed builder is required to provide a further assessment and to offer suitable rectification as required.

Note: It appears that the subfloor heating/cooling ducting is low and limiting and external vents covered over or restricted reducing the natural cross flow ventilation. We recommend modifications be made to ensure adequate ventilation is achieved.

SAMPLE ONLY

GARAGING - TIMBER PEST

GARAGING TYPE

Describe Garaging

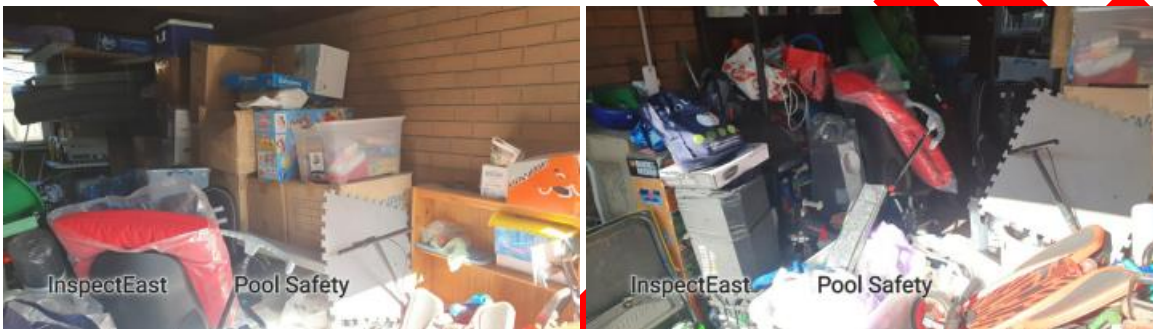
A single car garage.

RESTRICTIONS:

Inspection Limitations

Stored items restricted inspection to the interior. These goods must be removed to enable a more complete report to be submitted. Defects and or timber pest may be present and not detected.

Boundary and or common external walls were not inspected as access was not gained to adjoining properties.



Active termites or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not gained. If restrictions or limitations are noted we recommend further access be gained to enable a full inspection of the area(s). See Section 2.0 - Reasonable Access.

EVIDENCE OF ACTIVE TIMBER PESTS

Details

Due to the lack of access, we are unable to offer a meaningful opinion in relation to the timber pest status of this area. We recommend full access be gained to enable a more complete report to be submitted.

CONDUCTIVE CONDITIONS

Description

Some gutters and/or downpipes appear to discharge rainwater directly adjacent to the foundations of the structure. These should be connected to a stormwater dispersal system.

TREATMENT AND SUMMARY - TIMBER PEST

It is not always easy to determine if a property has been treated for subterranean termites particularly if such a treatment was carried out during construction or the evidence of a treatment has been concealed. Treatments may consist of physical or chemical barriers or a combination of both. This summary of treatment evidence is in no way conclusive. Where no visible evidence of treatment was found, it does not necessarily mean that the property was not or has not been treated. Some signs of treatment are not readily visible during an inspection. Where any evidence of a termite treatment was noted, and the treatment was not carried out by this firm, we can give no assurances with regard to the work performed or other work carried out as a result of timber pest attack. Further enquiries should be made and any documentation obtained to verify work carried out. Where no evidence of a pre-construction treatment is noted (or any subsequent treatment), any prospective purchaser should make their own enquiries to determine what protective measures were taken during the construction of the property to protect against termite attack.

EVIDENCE OF TERMITE TREATMENT TO THE PROPERTY

Description

There was no visible evidence of previous termite treatment.

IMPORTANT NOTE

This summary must be read in conjunction with the entire report. Some comments and recommendations may be contained in the body of the report and not in the summary. The information contained in the terms and conditions, the body of the report, the summary and general information form the complete report.

FURTHER ACCESS REQUIRED:

Summary Of High Risk-areas Not Inspected/ Not Accessible Or Where Inspection Was Impaired And Where Further Inspection Should Be Conducted:

External:

Access was not gained to some external areas as detailed in the report.

Internal:

Access was not gained to some floors, walls, storage cupboards and robes due to furnishings and stored goods as detailed in the report.

High moisture levels were detected to some internal walls as noted in the report. This can be an indicator of a free moisture source (water leak) or possible timber pest activity. In all cases where a high moisture level is encountered, we strongly recommend further invasive investigations be carried out to determine the cause of this situation. Because high moisture was reported then you must have a building expert investigate the moisture and its cause and determine the full extent of damage and the estimated cost of repairs.

Subfloor:

We were unable to gain access to the entire subfloor void as detailed in the report. It should be noted that the under floor area is the prime area of timber pest attack and active termites or other timber damaging pests. We strongly recommend that access be gained and a re-inspection conducted. This may be achieved by cutting of mantraps or gaining access through foundation walls as appropriate. The lifting of floor coverings (if present) in an attempt to locate existing floor traps has not been carried out and is not within the scope of a standard visual inspection. Should the floor timbers be exposed and polished, a carpenter should be engaged to cut traps.

Roof Void:

Access was not gained to the roof frame due to the lack of access as detailed in the report.

Access was not gained to the top side of the eaves, sections of the ceiling joist/s and top wall plates due to low heights and existing insulation as detailed in the report.

Garage:

Access was not gained to internal and external areas of the garage as detailed in the report.

Active termites and/or other timber damaging pests may be present and not detected in areas where inspection was limited, obstructed or access was not fully gained. We Strongly recommend that access be gained to the currently inaccessible and or restricted area(s) to allow a more complete report to be submitted prior to purchase.

SUMMARY DETAILS

Testing Equipment:

Tramex Moisture Encounter was used for the testing of moisture during the inspection.

Overall Assessment Of Property:

At the time of the inspection the DEGREE OF RISK OF SUBTERRANEAN TERMITE INFESTATION to the overall property was considered to be moderate to high.

Evidence Of Active Timber Pests:

Inspection revealed no evidence of active timber pest infestation to visible areas and visible timbers at this time. This statement is not for the whole structure and is limited to the commissioned inspection area only. It is possible that timber pest damage or activity may exist in concealed timbers or areas and no comment is made in respect to these concealed timbers or areas.

At the time of inspection no termite activity was found to inspected and accessible timbers, but we cannot guarantee that termites will not enter the property at a later stage and/or exist to area not inspected on the day. A Termite barrier should be installed for the protection from timber pest entering the property as one (1) in Five (5) homes are attacked.

AS 3660.2-2000 recommends that inspections be carried out at intervals no greater than annually and where timber pest "pressure" is greater, this interval should be shortened. Inspections WILL NOT stop timber pest infestations; however, the damage which may be caused will be reduced when the infestation is found at an early stage.

All properties are considered at risk of attack by termites. The risk can be reduced if the property is treated in compliance with Australian Standard 3660. The property should be inspected on a regular basis at intervals not exceeding 12 monthly or more frequently if recommended in the body of this report.

Where evidence of termite activity was found during the course of this inspection or other factors present indicate that the property is at a high risk of attack by subterranean termites, the property should be treated in compliance with the Australian Standard 3660. Please note: Any treatment specification and price (if applicable) is to be used as a guide only and this is not a firm quote. We reserve the right to vary the treatment specifications and price upon review.

CHEMICAL TREATMENT RECOMMENDATIONS

Detailed Treatment Specification Not Submitted

We have determined that a termite treatment in accord with AS 3660 is necessary. This is even more important considering no current management plan could be located on the day. Due to factors which may include problems with access or environmental conditions, we have not included a treatment specification with this report. However this does not negate the need for a treatment and such a treatment is still considered extremely necessary. A licensed pest controller should be called to install a suitable termite management plan as a matter of urgency.

Please Note:

The following information is very important and forms an integral part of this report.

Any structure can be attacked by Timber Pests. Periodic maintenance should include measures to minimise possibilities of infestation in and around a property. Factors which may lead to infestation from Timber Pests include situations where the edge of a concrete slab is covered by soil or garden debris, filled areas, areas with less than 400mm clearance, foam insulation at foundations, earth/wood contact, damp areas, leaking pipes, formwork timbers, scrap timber, tree stumps, mulch, tree branches touching the structure, wood rot, etc. Gardens, pathways or turf abutting or concealing the edge of a concrete slab will allow for concealed entry by timber pests. Any timber in contact with soil such as form-work, scrap timbers or stumps must be removed from under and around the buildings and any leaks repaired. You should endeavour to ensure such conditions DO NOT occur around your property.

We further advise that you engage a professional pest control firm to provide a termite management program in accord with AS 3660 to minimise the risk of termite attack. There is no way of preventing termite attack. Even AS 3660 advises that *"the provision of a complete termite barrier will impede and discourage termite entry into a building. It cannot prevent termite attack. Termites can still bridge or breach barriers but they can be detected more readily during routine inspections."*

In relying upon this report you should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property is free of timber pests. It also details important information about what you can do to help protect your property from timber pest attack. This information forms an integral part of the report.

1.0 DEFINITIONS

For the purpose of this inspection, the definitions below apply.

1.1 Active - The presence of live timber pests at the time of inspection.

1.2 Inactive - The absence of live timber pests at the time of inspection.

Note: Where visual evidence of inactive termite workings and/or damage is located, it is possible that termites are still active in the immediate vicinity and the termites may continue to cause further damage. It is not possible, without the benefit of further investigation and inspections over a period of time, to ascertain whether any infestation is active or inactive. Continued, regular inspections are essential.

1.3 Minor - Damage that is surface damage only and does not appear to require any timber replacement or repairs to be carried out.

1.4 Moderate - Damage that is more than surface damage but is unlikely to necessitate any timber replacement or repairs to be carried out.

1.5 Severe - Damage that appears to be significant and the integrity or serviceability of timbers may be impaired. A builder's opinion must be sought in the case of severe damage.

1.6 Timber Damage - Where this report includes comments in relation to the severity of timber damage, it must be understood that this is not a qualified builder's opinion. It is essential that any timber damage be referred to a suitably qualified building professional and obtain a special purpose building report relating to the extent of the timber damage. The full extent of damage may only be revealed by invasive inspection methods including probing and the removal of lining materials. This type of invasive inspection has not been carried out and you should understand that the extent and/or severity of timber damage may be found to increase significantly on such an invasive inspection. The references contained within this report that may refer to the extent of timber damage have only been included to assist in determining treatment specifications and not to quantify the damage and must not be relied upon to determine the costs of repair or replacement.

2.0 REASONABLE ACCESS

You should read and understand the following important information. It will help explain what is involved in a timber pest inspection, the difficulties faced by a timber pest inspector and why it is not possible to guarantee that a property

is free of timber pests. It also details important information about what you can do to help protect your property from timber pests. This information forms an integral part of the report.

Only areas to which reasonable access is available were inspected. The Australian Standard 4349.3 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior

Access hole = 450 x 450 mm - Crawl Space = 600 x 600mm - Height accessible from 2.1m step ladder or 3.6m ladder placed against a wall.

Subfloor

Access hole = 500 x 400mm - Crawl space (timber floor) = 400mm to bearer, joist or other obstruction, (concrete floor) = 500mm.

Roof Exterior

Must be accessible from a 3.6m ladder.

3.0 A MORE INVASIVE AND PHYSICAL INSPECTION IS AVAILABLE AND RECOMMENDED

This inspection was a visual inspection only. As detailed above, there are many limitations to this visual inspection. With the written permission of the owner of the premises we will perform a more invasive physical inspection that involves moving or lifting of insulation, moving stored items, furniture or foliage during the inspection. We will physically touch, tap, test and where necessary force/gouge suspected accessible timbers. We will gain access to areas, where physically possible and considered practical and necessary, by way of cutting traps and access holes. This style of report is available by ordering with several days' notice. Inspection time for this report will be greater than for a visual inspection. It involves disruption in the case of an occupied property, and some permanent marking is likely. You must arrange for the written permission of the owner and must acknowledge all the above information and confirm that our firm will not be held liable for any damage caused to the property. Price available on request.

4.0 CONCRETE SLAB HOMES (Part or full slab)

Homes constructed on concrete slabs pose special problems with respect to detecting termite attack. If the edge of the slab is concealed by garden beds, lawns, paths, pavers or any other obstructions then it is possible for termites to effect concealed entry into the property. They can then cause extensive damage to concealed framing timbers before being detected. Even the most experienced inspector may be unable to detect their presence due to concealment by wall linings or other obstructions. Only when the termites attack visible and accessible timbers in the roof void, which may be concealed by insulation, or some other visible timbers, can their presence be detected. Where termite damage is located in the roof it should be expected that concealed framing timbers (if present) may be extensively damaged. **With a concrete slab home (part or full) it is imperative that you expose the edge of the slab. This may involve the excavation of soil or the complete removal of garden beds, paths, pavers or other features which concealed the slab edge. It is recommended that at least 75 millimetres of the slab edge above ground level remain exposed at all times to facilitate the detection of termite entry. Weep holes must also be kept free of obstructions at all times.**

In some buildings built since July 1995 the edge of the slab forms part of the termite shield system. In these buildings an inspection zone of at least 75mm should be maintained to permit detection of termite entry. The slab edge should not be concealed by render, tiles, cladding, flashings, adjoining structures, paving, soil, turf, or landscaping etc.

5.0 EVIDENCE OF TERMITE DAMAGE

Where visual evidence of termite workings and/or damage was noted in any structure or on the grounds of the property, you must understand that termite damage and/or activity may exist in concealed areas. Termites are secretive by nature and they will often temporarily desert their workings to later return. It is not possible, without benefit of further investigation and a number of inspections over a period of time, to ascertain whether any infestation

is active or inactive. Active termites may simply have not been present at the time of inspection due to a prior disturbance, climatic conditions, or they may have been utilising an alternative feeding source. Continued regular inspections are essential.

As damage or activity may exist in concealed or inaccessible areas, a further INVASIVE INSPECTION is available and is strongly recommended, see Section 3.0 - Further Invasive Inspections. Additionally, regular inspections are strongly recommended at intervals not exceeding the interval recommended in the report.

6.0 SUBTERRANEAN TERMITES

No Property is safe from termites! Termites are the cause of the greatest economic losses of timber in service in Australia. Independent data compiled by State Forests shows 1 in every 4 homes are attacked by termites at some stage in its life. Australia's subterranean termite species (white ants) are the most destructive timber pests in the world. In fact it can take as little as 3 months for a termite colony to severely damage almost all the timber in a home.

How termites attack your home! The most destructive species live in large underground nests containing several hundred thousand timber-destroying insects. The problem arises when a nest matures near your home. Your home provides natural shelter and a food source for the termites. The gallery system of a single termite colony may exploit food sources over as much as one hectare, with individual galleries extending up to 50 metres or more to enter your home. Concrete slabs do not act as a barrier as termites can penetrate cracks through the slab or over the slab edge. They even build mud tubes to gain access to above ground timbers. In rare cases termites can create their nest in the cavity wall of the property without making ground contact. In these cases it may be impossible to determine their presence until extensive timber damage occurs.

Termite Damage! Once in contact with the timber they can excavate it often leaving only a thin veneer on the outside. If left undiscovered the economic species can cause many thousands of dollars damage and can be costly to treat. Treatment costs vary and can range from two to five thousand dollars (or more) to treat.

Subterranean Termite Ecology. These termites are social insects usually living in underground nests. Nests may be in trees or in rare instances they may be in above ground areas within the property. They tunnel underground to enter the building and then remain hidden within the timber making it very difficult to locate them. Where timbers are concealed, as in most modern homes, it makes it even more difficult to locate their presence. Especially if gardens have been built up around the home and termite barriers are either not in place or poorly maintained. Termites form nests in all sorts of locations and they are usually not visible. There may be more than one nest on a property. The diet of termites in the natural environment is the various hardwood and softwood species growing throughout Australia. These same timbers are used in buildings. Worker termites move out from their underground nest into surrounding areas where they obtain food and return to nurture the other casts of termites within the nest. Termites are extremely sensitive to temperature, humidity and light and hence cannot move over ground like most insects. They travel in mud encrusted tunnels to the source of food. Detection of termites is usually by locating these mud tunnels rising from the ground into the affected structure. This takes an expert eye.

Termite barriers protect a building by forcing termites to show themselves. Termites can build mud tunnels around termite barriers to reach the timber above. The presence of termite tracks or leads does not necessarily mean that termites have entered the timber though. A clear view of walls and piers and easy access to the sub-floor means that detection should be fairly easy. However many styles of construction do not lend themselves to ready detection of termites. The design of some properties is such that they make the detection by a pest inspector difficult, if not impossible.

The tapping and probing of walls and internal timbers is an adjunct or additional means of detection of termites but is not as reliable as locating tracks. The use of a moisture meter is a useful aid for determining the presence of termites concealed behind thin wall panels, but it only detects high levels of activity. Older damage that has dried out will not be recorded. It may also provide false readings. Termite tracks may be present in the ceiling space however some roofs of a low pitch and with the presence of sisalation, insulation, air conditioning ductwork and hot water services may prevent a full inspection of the timbers in these areas. Therefore since foolproof and absolute certain detection is not possible the use of protective barriers and regular inspections is a necessary step in protecting timbers from termite attack.

7.0 BORERS OF DRY SEASONED TIMBERS

Borers are the larval stage of various species of beetle. The adult beetles lay their eggs within the timber. The eggs hatch out into larvae (grubs) that bore through the timber. The larvae may reside totally concealed within the timber

for a period of several years before passing into a dormant pupal stage. Within the pupal case they metamorphose (change) into the adult beetle that cuts a hole in the outer surface of the timber to emerge, mate and lay further eggs to continue the cycle. It is only through the presence of these emergence holes that their presence can be detected. When floors are covered by carpets, tiling or other floor coverings and where no access or restricted access underfloor is available, it is not possible to determine whether borers are present or not. This is particularly the case with the upper floors of a building.

Anobium punctatum borer (furniture beetle) and Queensland pine borer. These beetles are responsible for instances of flooring collapse, often triggered by a heavy object being placed on the floor (or a person stepping on the affected area). Pine timbers are favoured by this beetle and while the sapwood is preferred, the heartwood is also sometimes attacked. Attack by this beetle is usually observed in timbers that have been in service for 10-20 years or more and mostly involves flooring and timber wall panelling. The *frass* from the flight holes (faeces and chewed wood) is fine and gritty. Wood attacked by these borers is often honeycombed.

Lyctus brunneus borer (powder post beetle). These borers only attack the sapwood of certain susceptible species of hardwood timber. Since it is a requirement that the structural timbers contain no more than 25% Lyctus susceptible sapwood, these borers are not normally associated with structural damage. Replacement of affected timbers is not recommended and treatment is not approved or required. Powder post beetles mostly attack during the first 6-12 months of service life of timber. As only the sapwood is destroyed, larger dimensional timbers (such as rafters, bearers and joists) in a house are seldom weakened significantly to cause collapse. In small dimensional timbers (such as tiling and ceiling battens) the sapwood may be extensive, and its destruction may result in collapse. Replacement of these timbers is the only option available.

8.0 TIMBER DECAY FUNGI

The fruiting bodies of wood decay fungi vary in size, shape and colour. The type of fungi encountered by pest controllers usually reside in poorly ventilated subfloors, below wet areas of the home, exterior timbers and in areas that retain water in the soil. The durability and type of timbers are factors along with the temperature and environment. Destruction of affected timbers varies with the symptoms involved. Removal of the moisture source usually alleviates the problem. Fungal decay is attractive to termites and if the problem is not rectified it may well lead to future termite attack.

9.0 MOULD CLAUSE

Mildew and non-wood decay fungi is commonly known as Mould and is not considered a Timber Pest. However, Mould and their spores may cause health problems and allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.**

If Mould is noted as present within the property and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your Local Council, State or Commonwealth Health Department or a qualified expert such as an Industry Hygienist.

10.0 CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties or timber Pest activity and/or damage in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require clarification then contact the inspector prior to acting on this report.

The Inspector: Brett White
Inspectors PH: 0405 327 855

----- End Of Report -----